

M.G.A.



Issued under the Environmental Planning and Assessment Act 1979

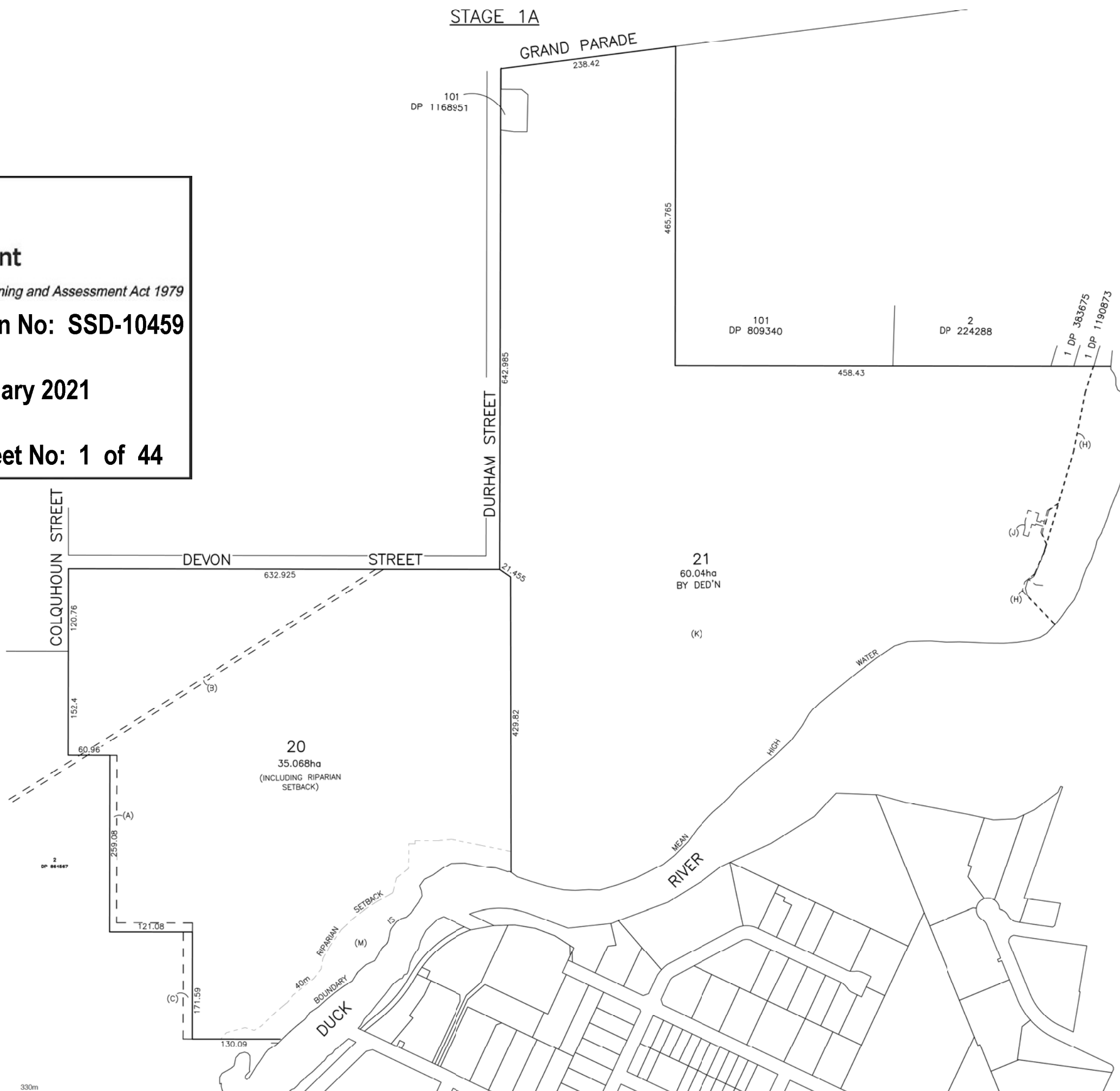
Approved Application No: SSD-10459

Granted on: 31 January 2021

Signed: JF Sheet No: 1 of 44

NOTES:
1. ALL DIMENSIONS SHOWN HEREON ARE APPROXIMATE AND SUBJECT TO FINAL SURVEY
2. NO CADASTRAL SURVEY HAS BEEN UNDERTAKEN

- (A) EASEMENT TO DRAIN WATER 10.2 & 13.4 WIDE (AC 421785)
- (B) EASEMENT 6.095 WIDE (B309159) - SYDNEY WATER PIPELINE
- (C) EASEMENT TO DRAIN WATER 13.4 WIDE (AC424784)
- (H) PIPELINE EASEMENT (V540637 & V540638)
- (J) PIPELINE EASEMENT (V22813)
- (K) PIPELINE EASEMENT WHOLE OF LOT (R297864)
- (M) EASEMENT FOR PEDESTRIAN ACCESS 40 WIDE & VARIABLE WIDTH



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PROJECT
PLAN OF PROPOSED SUBDIVISION OF LOT 100 IN DP 1168951 STAGE 1A

NOTES
The title boundaries shown hereon were not marked at the time of survey and have been determined by plan dimensions only and not by field survey.
Services shown hereon have been located where possible by field survey. If not able to be so located, services have been plotted from the records of relevant authorities where available and have been noted accordingly on the plan. Where such records do not exist or are inadequate a notation has been made hereon.
Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

REV	DATE	DESCRIPTION
5	GKO 11/11/2020	AMEND RIPARIAN SETBACK
4A	GKO 13/10/2020	SY074707.000.11.4 VERA
4	GKO 06/08/2020	APPROX AUSGRID LINE ADDED
3	GKO 23/07/2020	EASEMENTS ADDED
2	GKO 16/07/2020	LOT 6 DIMENSION AND AREA AMENDED
1	GKO 22/06/2020	INITIAL ISSUE

SYM CODE	DESCRIPTION	SYM CODE	DESCRIPTION
BN	BENCH MARK	OFM	OPTICAL FIBRE MARKER
BM	BENCH MARK	OPF	OPTICAL FIBRE PIT
BO	BOLLARD	TM	TREES
DM	DRAINAGE MANHOLE	SE	SEAT
EFP	ELECT FUSE BOX	TS	SHRUB
ELP	ELECT GARDEN LIGHT	TCA	TELSTRA PIT
EL	ELECT GREEN PILLAR	SLH	SEWER LAMP HOLE
LP	ELECT LIGHT POLE	SMH	SEWER MANHOLE
EP	ELECT SINGLE PIT	SWP	SEWER VENT PIPE
SPL	ELECT STAY POLE	SI	SIGN
PP	ELECT POWER POLE	BS	BUS STOP SIGN
ELP	ELECT POLE LIGHT	T	TREE
THAN	ELECT POLE TRANSFORM	SCL	TRAFFIC LIGHT
FD	FUEL DISP	SCT	TRAFFIC CONTROLLER
GM	GAS MANN	SJX	TRAFFIC JUNCTION BOX
GMR	GAS METER	US	UNKNOWN SERVICE
GV	GAS VALVE	WAV	WATER AIR VALVE
AG	GATE	WMR	WATER METER
GU	GULLY PIT	WEP	WATER PUMP
HYD	HYDRANT	WSP	WATER STOP VALVE
BDP	BORHPOLE	WTE	WATER TAP

Symbols shown are indicative only. The symbol size and orientation does not necessarily represent the real size or orientation of the feature.

DRAINAGE PIPE U/G	--- ---
DRAIN	--- ---
ELECT CABLE A/G	--- ---
ELECT CABLE U/G	--- ---
GAS PIPE	--- ---
FENCE LINE	--- ---
SEWERAGE PIPE	--- ---
TELSTRA CABLE	--- ---
WATER PIPE	--- ---

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HEIGHT DATUM	AHD	LOCAL AUTHORITY	CITY OF PARRAMATTA
HEIGHT ORIGIN	N/A	SCALE	1:3000(A1)
MERIDIAN	56	CONTOUR INTERVAL	N/A
COORD SYSTEM	MGA	SURVEYOR	N/A
DATE OF SURVEY		DATE	11/11/2020
CAD FILE	74707 ver 9 final subdivision	DRAWN	SF/CLP
AUTOCAD FILE	SY074707.000.11A.5	CHECKED	GKO
ARCHIVE FILE	SY074707.000.11.4_A	DATE	11/11/2020
APPROVED FILE		DATE	11/11/2020
PLAN NUMBER	SY074707.000.11A.5	SHEET 1 OF 1	

M.G.A.

STAGE 1B

GRAND PARADE



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Signed: JF Sheet No: 2 of 44

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PROJECT
PLAN OF PROPOSED SUBDIVISION OF LOT 100 IN DP 1168951 STAGE 1B

NOTES

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Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

NO	DATE	DESCRIPTION
6	GKO 11/11/2020	AMEND RIPARIAN SETBACK
5B	GKO 02/11/2020	LANDSCAPE SETBACK REMOVED
4B	GKO 13/10/2020	SY074707 11.4 VER B
4	GKO 06/08/2020	APPROX AUSGRID LINE ADDED
3	GKO 23/07/2020	EASEMENTS ADDED
2	GKO 16/07/2020	LOT 6 DIMENSION AND AREA AMENDED
1	GKO 22/06/2020	INITIAL ISSUE

SYM CODE	DESCRIPTION	SYM CODE	DESCRIPTION
BN	BENCH MARK	OFM	OPTICAL FIBRE MARKER
BM	BENCH MARK	OFP	OPTICAL FIBRE PIT
BO	BOLLARD	TM	TREES
DM	DRAINAGE MANHOLE	SE	SEAT
EFP	ELECT FUSE BOX	TS	SHRUB
ELP	ELECT GARDEN LIGHT	TCA	TELSTRA PIT
EL	ELECT GREEN PILLAR	SLH	SEWER LAMP HOLE
LP	ELECT LIGHT POLE	SMH	SEWER MANHOLE
EP	ELECT SINGLE PIT	SWP	SEWER VENT PIPE
SPL	ELECT STAY POLE	SI	SIGN
PP	ELECT POWER POLE	BS	BUS STOP SIGN
ELP	ELECT POLE LIGHT	T	TREE
HP	ELECT POLE TRANSFORM	SCL	TRAFFIC LIGHT
FD	FUEL DISP	SCC	TRAFFIC CONTROLLER
GM	GAS MAIN	SJX	TRAFFIC JUNCTION BOX
GMR	GAS METER	US	UNKNOWN SERVICE
GV	GAS VALVE	WAV	WATER AIR VALVE
AG	GATE	WMP	WATER METER
GUL	GULLY PIT	WEP	WATER PUMP
HYD	HYDRANT	WSP	WATER STOP VALVE
BDP	BODYPOLE	WTE	WATER TAP

SYMBOL	DESCRIPTION
(Symbol)	DRAINAGE PIPE U/G
(Symbol)	DRAIN
(Symbol)	ELECT CABLE A/G
(Symbol)	ELECT CABLE U/G
(Symbol)	GAS PIPE
(Symbol)	FENCE LINE
(Symbol)	SEWERAGE PIPE
(Symbol)	TELSTRA CABLE
(Symbol)	WATER PIPE

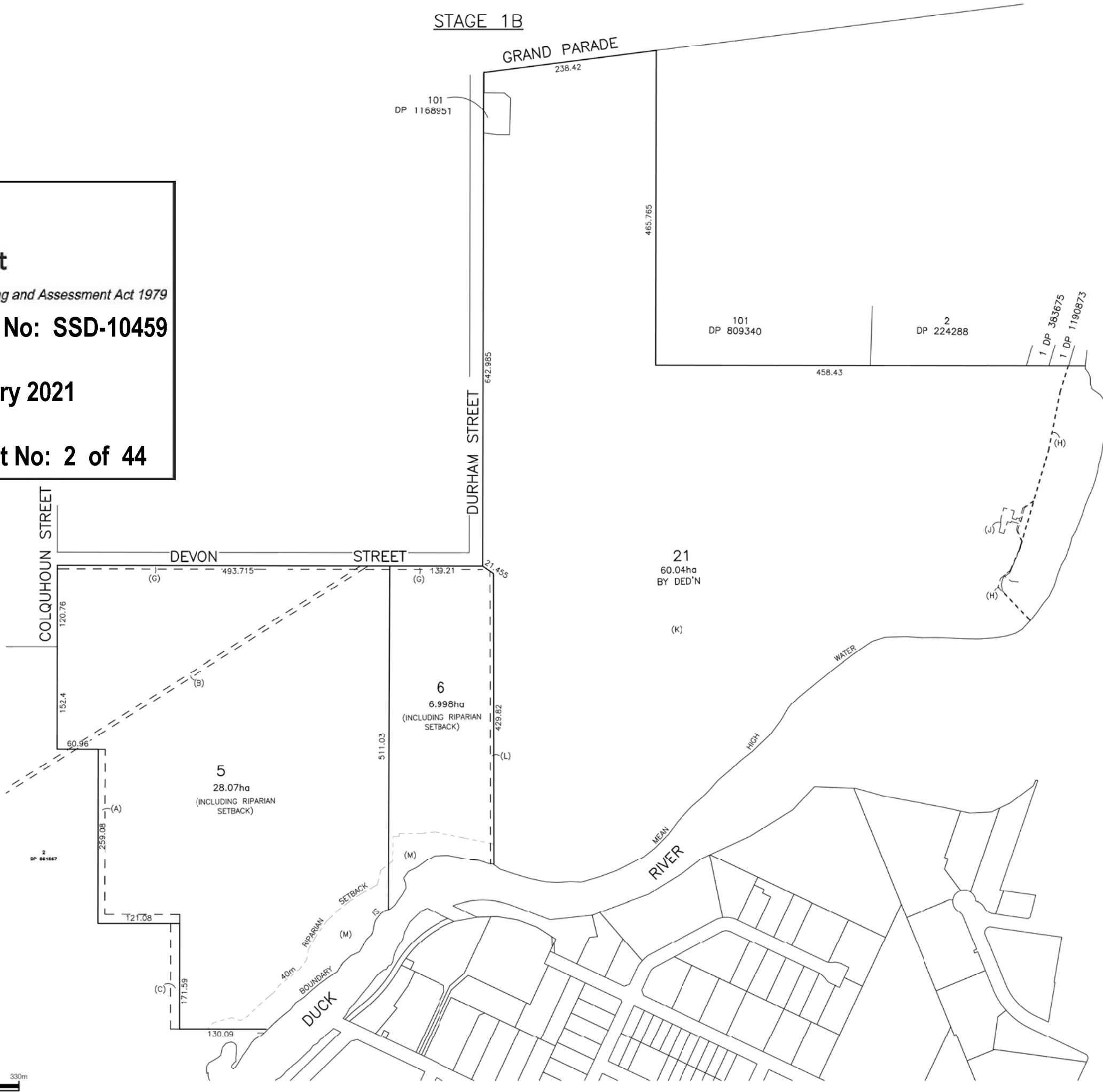


HEIGHT DATUM AHD	LOCAL AUTHORITY CITY OF PARRAMATTA
HEIGHT ORIGIN N/A	SCALE 1:3000(A1)
MERIDIAN 56	CONTOUR INTERVAL N/A
COORD SYSTEM MGA	SURVEYOR N/A
DATE OF SURVEY -	DATE OF SURVEY -
CAD FILE 74707 ver 9 final subdivision	DRAWN SF/CLP
DATE 11/11/2020	DATE 11/11/2020
AUTOCAD FILE SY074707.000.11B.6	CHECKED GKO
DATE 11/11/2020	DATE 11/11/2020
ARCHIVE FILE SY074707.000.11.5B	APPROVED GKO
DATE 11/11/2020	DATE 11/11/2020
PLAN NUMBER SY074707.000.11B.6	SHEET 1 OF 1

NOTES:

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- (C) EASEMENT TO DRAIN WATER 13.4 WIDE (AC424784)
- (G) PROPOSED EASEMENT FOR SERVICES 5 WIDE
- (H) PIPELINE EASEMENT (V540637 & V540638)
- (J) PIPELINE EASEMENT (V22813)
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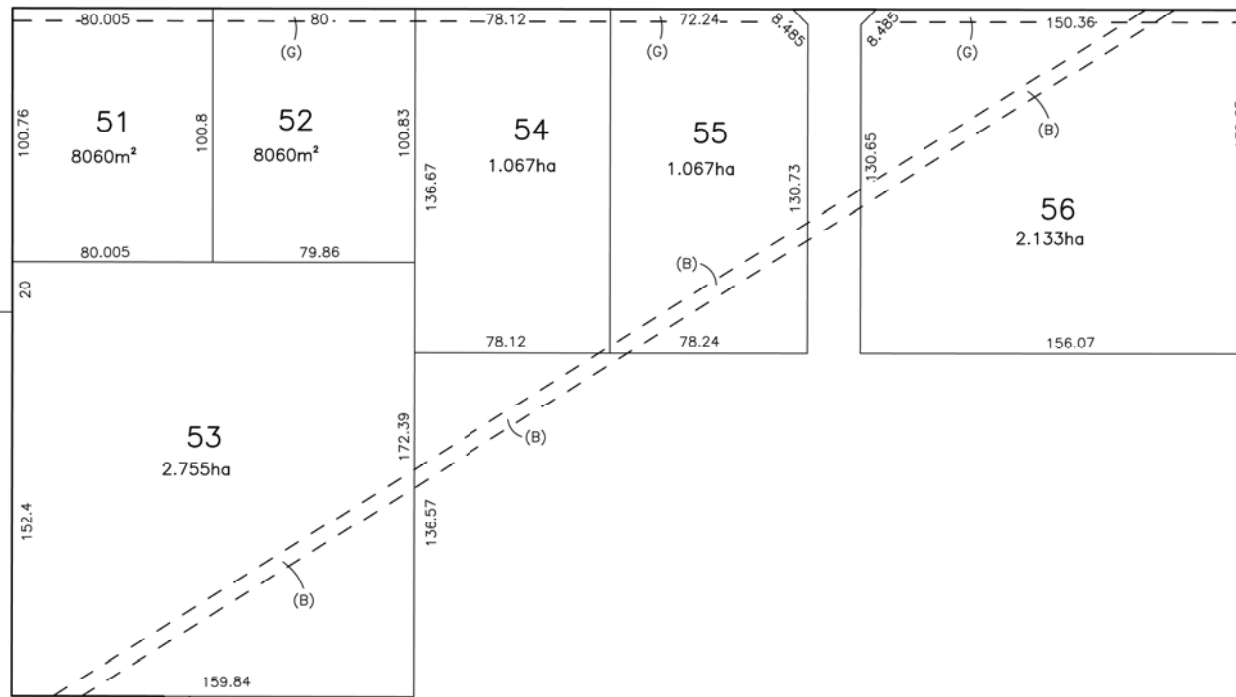
STAGE 2

DEVON

STREET

UNWIN STREET

COLQUHOUN STREET



6
STAGE 1
SUBDIVISION

21

RESIDUE LOT
57
19.44ha

2
DP 864567

(M)
WATER
RIVER
HIGH
MEAN
RIPARIAN
SETBACK
40m

DUCK
CARNARVAN STREET

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PROJECT
PLAN OF PROPOSED SUBDIVISION OF LOT 5 OF STAGE 1 OF SUBDIVISION OF LOT 100 IN DP1168951 STAGE 2

NOTES
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7	GKO	11/11/2020	AMEND RIPARIAN SETBACK
6	GKO	02/11/2020	LANDSCAPE SETBACK REMOVED
5	GKO	19/10/2020	LOT BOUNDARIES AMENDED
4	GKO	19/08/2020	SMALL LOT 3 REMOVED
3	GKO	24/07/2020	EASEMENTS DETAIL ADDED
2	GKO	17/07/2020	EASEMENT AMENDED
1	GKO	22/06/2020	INITIAL ISSUE

SYM CODE	DESCRIPTION	SYM CODE	DESCRIPTION
BN	BN BENCH MARK	OFM	OPTICAL FIBRE MARKER
BM	BENCH MARK	OFP	OPTICAL FIBRE PIT
BO	BOLLARD	TM	PALM TREE
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DRAIN	---
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TELSTRA CABLE	---
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SYDNEY
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HEIGHT DATUM	AHD	LOCAL AUTHORITY	CITY OF PARRAMATTA
HEIGHT ORIGIN	N/A	SCALE	1:1500 (A1)
MERIDIAN	56	CONTOUR INTERVAL	N/A
COORD SYSTEM	MGA	SURVEYOR	N/A
DATE OF SURVEY	-	DATE OF SURVEY	-
DCAD FILE	74707 ver 9 final subdivision	DRAWN	SF/CLP
DATE	2/11/2020	DATE	2/11/2020
AUTOCAD FILE	SY074707.000.12.7	CHECKED	GKO
DATE	2/11/2020	DATE	2/11/2020
ARCHIVE FILE	SY074707.000.12.6	APPROVED	GKO
DATE	2/11/2020	DATE	2/11/2020
PLAN NUMBER	SY074707.000.12.7	SHEET 1 OF 1	

NSW GOVERNMENT | **Planning, Industry & Environment**

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-10459

Granted on: 31 January 2021

Signed: JF **Sheet No: 3 of 44**

NOTES
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- (A) EASEMENT TO DRAIN WATER 10.2 & 13.4 WIDE (AC 424785)
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- (L) EASEMENT FOR OVERLAND FLOW 5 WIDE
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PROPOSED CENTRAL SYDNEY INDUSTRIAL ESTATE INCORPORATING NEW DOWNER SUSTAINABLE ROAD RESOURCE CENTRE.

9 DEVON STREET, CLYDE NSW 2142
PART LOT 100 DP1168951
CIVIL PACKAGE - SSD 10459

DRAWING LIST:

DRAWING NO.	DRAWING TITLE
CO13919.01-DA10	DRAWING LIST & GENERAL NOTES
CO13919.01-DA15	SERVICES ARRANGEMENT PLAN
CO13919.01-DA21	EROSION AND SEDIMENT CONTROL PLAN- PHASE 1
CO13919.01-DA22	EROSION AND SEDIMENT CONTROL PLAN- PHASE 2
CO13919.01-DA23	EROSION AND SEDIMENT CONTROL PLAN- FINAL STAGE
CO13919.01-DA25	EROSION AND SEDIMENT CONTROL DETAILS
CO13919.01-DA31	BULK EARTHWORKS PLAN - PHASE 1
CO13919.00-DA32	BULK EARTHWORKS PLAN - PHASE 2
CO13919.00-DA35	BULK EARTHWORKS SECTIONS
CO13919.00-DA41	STORMWATER DRAINAGE PLAN - PHASE 1
CO13919.00-DA42	STORMWATER DRAINAGE PLAN - PHASE 2
CO13919.00-DA45	STORMWATER DRAINAGE DETAILS - SHEET 1
CO13919.00-DA46	STORMWATER DRAINAGE DETAILS - SHEET 2
CO13919.00-DA51	FINISHED LEVELS PLAN - PHASE 1
CO13919.00-DA60	PROPOSED PUBLIC ACCESS ROAD & TYPICAL SECTION

ELECTRONIC INFORMATION NOTES:

- THE ISSUED DRAWINGS IN HARD COPY OR PDF FORMAT TAKE PRECEDENCE OVER ANY ELECTRONICALLY ISSUED INFORMATION, LAYOUTS OR DESIGN MODELS.
- THE CONTRACTOR'S DIRECT AMENDMENT OR MANIPULATION OF THE DATA OR INFORMATION THAT MIGHT BE CONTAINED WITHIN AN ENGINEER-SUPPLIED DIGITAL TERRAIN MODEL AND ITS SUBSEQUENT USE TO UNDERTAKE THE WORKS WILL BE SOLELY AT THE DISCRETION OF AND THE RISK OF THE CONTRACTOR.
- THE CONTRACTOR IS REQUIRED TO HIGHLIGHT ANY DISCREPANCIES BETWEEN THE DIGITAL TERRAIN MODEL AND INFORMATION PROVIDED IN THE CONTRACT AND/OR DRAWINGS AND IS REQUIRED TO SEEK CLARIFICATION FROM THE SUPERINTENDENT.
- THE ENGINEER WILL NOT BE LIABLE OR RESPONSIBLE FOR THE POSSIBLE ON-GOING NEED TO UPDATE THE DIGITAL TERRAIN MODEL, SHOULD THERE BE ANY AMENDMENTS OR CHANGES TO THE DRAWINGS OR CONTRACT INITIATED BY THE CONTRACTOR.

GENERAL NOTES:

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT STANDARDS AUSTRALIA CODES AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE. ENGINEER'S DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. ENGINEER'S DRAWINGS ISSUED IN ANY ELECTRONIC FORMAT MUST NOT BE USED FOR DIMENSIONAL SETOUT. REFER TO THE ARCHITECT'S DRAWINGS FOR ALL DIMENSIONAL SETOUT INFORMATION.
- DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS AND EXCAVATIONS STABLE AT ALL TIMES.
- UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETRES.
- ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH ACCEPTABLE SAFETY STANDARDS & APPROPRIATE SAFETY SIGNS SHALL BE INSTALLED AT ALL TIMES DURING THE PROGRESS OF THE JOB.
- ALL SERVICES ARE BASED ON 'DIAL BEFORE YOU DIG' INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL SERVICES ARE IDENTIFIED PRIOR TO THE COMMENCEMENT OF ANY WORKS.

SITE PREPARATION NOTES:

- ALL EARTHWORKS SHALL BE COMPLETED GENERALLY IN ACCORDANCE WITH THE GUIDELINES SPECIFIED BY THE GEOTECHNICAL REPORT.
- EXISTING LEVELS ARE BASED ON INFORMATION PROVIDED BY LANDPARTNERS TITLED AS 2005 Clyde, BE 200620 TIN DATED 08/07/20.
- STRIP ANY TOP SOIL OR DELETERIOUS MATERIAL AND DISPOSE OF FROM SITE OR STORE AS DIRECTED.
- COMPLETE CUT TO FILL EARTHWORKS TO ACHIEVE THE REQUIRED LEVELS AS INDICATED ON THE DRAWINGS WITHIN A TOLERANCE OF +0mm/-10mm THROUGH BUILDING PADS/PAVEMENTS AND +0mm/-20mm ELSEWHERE. PREPARE STEEP BATTERS TO RECEIVE FILL BY CONSTRUCTING BENCHING TO FACILITATE FILL PLACEMENT AND COMPACTION.
- AREAS TO RECEIVE FILL (THAT ARE NOT ON BENCHED BATTERS) AND AREAS IN CUT SHALL BE PROOF ROLLED TO IDENTIFY ANY SOFT HEAVING MATERIAL. SOFT MATERIAL SHALL BE BOXED OUT AND REMOVED PRIOR TO FILL PLACEMENT. PROOF ROLLING TO BE INSPECTED BY A GEOTECHNICAL ENGINEER OR THE EARTHWORKS DESIGNER.
- SITE WON FILL SHALL BE COMPACTED IN MAXIMUM 300mm LAYERS AND TO DRY OR HALF DENSITY RATIOS (STANDARD COMPACTION) OF BETWEEN 98% AND 103%. THE PLACEMENT MOISTURE VARIATION OR HALF MOISTURE VARIATION SHALL BE CONTROLLED TO BE BETWEEN 2% DRY AND 2% WET.
- IMPORTED FILL SHALL BE COMPACTED IN MAXIMUM 300mm LAYERS AND TO DRY OR HALF DENSITY RATIOS (STANDARD COMPACTION) OF BETWEEN 98% AND 103%. THE PLACEMENT MOISTURE VARIATION OR HALF MOISTURE VARIATION SHALL BE CONTROLLED TO BE BETWEEN 2% DRY AND 2% WET.
- ALL ENGINEERED FILL PARTICLES SHALL BE ABLE TO BE INCORPORATED WITHIN A SINGLE LAYER. FURTHER, LESS THAN 30% OF PARTICLES SHALL BE RETAINED ON THE 37.5 MM SIEVE. ENGINEERED FILL SHALL BE ABLE TO BE TESTED IN ACCORDANCE WITH THE STANDARD COMPACTION METHOD (AS1289.5.4.1) OR HALF TEST METHOD (AS1289.5.7.1). THESE METHODS REQUIRE LESS THAN 20% RETAINED ON THE 37.5 MM SIEVE, WHERE BETWEEN 20% AND 30% OF PARTICLES ARE RETAINED ON THE 37.5 MM SIEVE THE ABOVE TEST METHODS SHALL STILL BE ADOPTED AND TEST REPORTS ANNOTATED APPROPRIATELY. THESE REQUIREMENTS SHOULD BE MET BY THE MATERIAL AFTER PLACEMENT AND COMPACTION.
- ALL THE EARTHWORKS UNDERTAKEN AND THE SUBGRADE CONDITION IN THE CUT AREAS (IN THE STATED PERIOD) ARE DOCUMENTED IN THE REPORTS AND HAVE BEEN UNDERTAKEN IN ACCORDANCE WITH THE SPECIFICATION.
- PRIOR TO ANY EARTHWORKS, EROSION CONTROL AS OUTLINED IN THE EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE COMPLETED. EXISTING ROCK, IF ANY, SHALL BE REMOVED BY HEAVY ROCK BREAKING OR RIPPING.
- MATCH EXISTING LEVELS AT BATTER INTERFACE.
- CONTRACTOR TO MATCH EXISTING LEVELS AT THE INTERFACE OF EARTHWORKS AND EXISTING SURFACE AT BATTER LOCATIONS OR WHERE NO RETAINING WALLS ARE PRESENT, ANY DISCREPANCY BETWEEN DESIGN AND EXISTING LEVELS TO BE REFERRED TO THE ENGINEER FOR DIRECTION OR ADJUSTMENTS TO DESIGN LEVELS.
- DURING EARTHWORKS THE CONTRACTOR IS TO ENSURE ALL AREAS ARE FREE DRAINING & WILL NOT RETAIN WATER DURING RAINFALL. PROVIDE TEMPORARY MEASURES AS REQUIRED TO ENSURE FREE FLOWING RUNOFF THROUGH MANAGED DRAINAGE PATHS, DIVERSION DRAINS OR OTHER SUITABLE DISPOSAL METHOD AS AGREED DURING THE WORKS. REFER ANY CONCERNS TO THE ENGINEER. REFER TO EROSION AND SEDIMENT CONTROL DRAWINGS AND NOTES.

STORMWATER DRAINAGE NOTES:

- ALL STORMWATER WORKS TO BE COMPLETED IN ACCORDANCE WITH AUSTRALIAN STANDARD AS3500.3:2003 PLUMBING AND DRAINAGE, PART 3: STORMWATER DRAINAGE.
- THE MINOR (PIPED) SYSTEM HAS BEEN DESIGNED FOR THE 1 IN 20 YEAR ARI STORM EVENT AND THE MAJOR (OVERLAND) SYSTEM HAS BEEN DESIGNED FOR THE 1 IN 100 YEAR ARI STORM EVENT.
- ALL FINISHED PAVEMENT LEVELS SHALL BE AS INDICATED ON FINISHED LEVELS PLANS CO13730.00-CS1 TO CS3.
- PIT SIZES SHALL BE AS INDICATED IN THE SCHEDULE WHILE PIPE SIZES AND DETAILS ARE PROVIDED ON PLAN.
- EXISTING STORMWATER PIT LOCATIONS AND INVERT LEVELS TO BE CONFIRMED BY SURVEY PRIOR TO COMMENCING WORKS ON SITE.
- ALL STORMWATER PIPES Ø375 OR GREATER SHALL BE CLASS 2 (WITH HS2 SUPPORT) REINFORCED CONCRETE WITH RUBBER RING JOINTS UNLESS NOTED OTHERWISE.
- ALL PIPES UP TO AND INCLUDING Ø300 TO BE UPVC GRADE S88 U10.
- PIPE CLASS NOMINATED ARE FOR IN-SERVICE LOADING CONDITIONS ONLY. CONTRACTOR IS TO MAKE ANY NECESSARY ADJUSTMENTS REQUIRED FOR CONSTRUCTION CONDITIONS.
- ALL CONCRETE PITS GREATER THAN 1000mm DEEP SHALL BE REINFORCED USING N12-200 EACH WAY CENTERED IN WALL AND BASE. LAP MINIMUM 300mm WHERE REQUIRED. ALL CONCRETE FOR PITS SHALL BE F'c 25 MPA. PRECAST PITS MAY BE USED WITH THE APPROVAL OF THE ENGINEER.
- IN ADDITION TO ITEM 6 ABOVE, ALL CONCRETE PITS GREATER THAN 3000mm DEEP SHALL HAVE WALLS AND BASE THICKNESS INCREASED TO 200mm.
- PIPES SHALL BE LAID AS PER PIPE LAYING DETAILS. PARTICULAR CARE SHALL BE TAKEN TO ENSURE THAT THE PIPE IS FULLY AND EVENLY SUPPORTED, RAM AND PACK FILLING AROUND AND UNDER BACK OF PIPES AND PIPE FAUCETS, WITH NARROW EDGED RAMMERS OR OTHER SUITABLE TAMPING DETAILS.
- CONCRETE PIPES UNDER, OR WITHIN THE ZONE OF INFLUENCE OF PAVED AREAS SHALL BE LAID USING HS2 TYPE SUPPORT, AS A MINIMUM, IN ACCORDANCE WITH AS 3725. AGGREGATE BACKFILL SHALL NOT BE USED FOR PIPE BEDDING AND OR HAUNCH/SIDE SUPPORT.
- WHERE PIPE LINES ENTER PITS, PROVIDE 2m LENGTH OF STOCKING WRAPPED SLOTTED Ø100 UPVC TO EACH SIDE OF PIPE.
- ALL SUBSOIL DRAINAGE LINES SHALL BE Ø100 SLOTTED UPVC WITH APPROVED FILTER WRAP LAID IN 300mm WIDE GRANULAR FILTER UNLESS NOTED OTHERWISE. LAY SUBSOIL LINES TO MATCH FALLS OF LAND AND/OR 1 IN 200 MINIMUM. PROVIDE CAPPED CLEANING EYE (RODDING POINT) AT UPSTREAM END OF LINE AND AT 30m MAX. CTS. PROVIDE SUBSOIL LINES TO ALL PAVEMENT/LANDSCAPED INTERFACES, TO REAR OF RETAINING WALLS (AS NOMINATED BY STRUCTURAL ENGINEER) AND AS SHOWN ON PLAN.
- ALL PIPE GRADES 1 IN 200 MINIMUM U10.
- PROVIDE STEP IRONS IN PITS DEEPER THAN 1000mm.
- MIN 600 COVER TO PIPE OBVERT BENEATH ROADS & MIN 400 COVER BENEATH LANDSCAPED AND PEDESTRIAN AREAS.
- PIT COVERS IN TRAFFICABLE PAVEMENT SHALL BE CLASS D 'HEAVY DUTY'. THOSE LOCATED IN NON-TRAFFICABLE AREAS SHALL BE CLASS D 'MEDIUM DUTY' U10.
- PROVIDE CLEANING EYES (RODDING POINTS) TO PIPES AT ALL CORNERS AND T-JUNCTIONS WHERE NO PITS ARE PRESENT.
- DOWN PIPES (DP) TO BE AS PER HYDRAULIC ENGINEERS DETAILS WITH CONNECTOR TO MATCH DP SIZE U10. ON PLAN, PROVIDE CLEANING EYE AT GROUND LEVEL.
- PIPE LENGTHS NOMINATED ON PLAN OR LONGSECTIONS ARE MEASURED FROM CENTER OF PITS TO THE NEAREST 0.5m AND DO NOT REPRESENT ACTUAL LENGTH. THE CONTRACTOR IS TO ALLOW FOR THIS.

EROSION CONTROL NOTES:

- ALL CONTROL WORK INCLUDING DIVERSION BANKS AND CATCH DRAINS, V-DRAINS AND SILT FENCES SHALL BE COMPLETED DIRECTLY FOLLOWING THE COMPLETION OF THE EARTHWORKS.
- SILT FENCES AND SILT FENCE RETURNS SHALL BE ERECTED CONVEX TO THE CONTOUR TO POND WATER.
 - HAY BALE BARRIERS AND GEOTEXTILE FENCES ARE TO BE CONSTRUCTED TO TOE OF BATTER, PRIOR TO COMMENCEMENT OF EARTHWORKS, IMMEDIATELY AFTER CLEARING OF VEGETATION AND BEFORE REMOVAL OF TOP SOIL.
 - ALL TEMPORARY EARTH BERMS, DIVERSION AND SILT DAM EMBANKMENTS ARE TO BE MACHINE COMPACTED, SEEDED AND MULCHED FOR TEMPORARY VEGETATION COVER AS SOON AS THEY HAVE BEEN FORMED.
 - CLEAR WATER IS TO BE DIVERTED AWAY FROM DISTURBED GROUND AND INTO THE DRAINAGE SYSTEM.
 - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROVIDING ONGOING ADJUSTMENT TO EROSION CONTROL MEASURES AS REQUIRED DURING CONSTRUCTION.
 - ALL SEDIMENT TRAPPING STRUCTURES AND DEVICES ARE TO BE INSPECTED AFTER STORMS FOR STRUCTURAL DAMAGE OR CLOGGING. TRAPPED MATERIAL IS TO BE REMOVED TO A SAFE, APPROVED LOCATION.
 - ALL FINAL EROSION PREVENTION MEASURES INCLUDING THE ESTABLISHMENT OF GRASSING ARE TO BE MAINTAINED UNTIL THE END OF THE DEFECTS LIABILITY PERIOD.
 - ALL EARTHWORKS AREAS SHALL BE ROLLED ON A REGULAR BASIS TO SEAL THE EARTHWORKS.
 - ALL FILL AREAS ARE TO BE LEFT WITH A BUND AT THE TOP OF THE SLOPE AT THE END OF EACH DAY'S EARTHWORKS. THE HEIGHT OF THE BUND SHALL BE A MINIMUM OF 200mm.
 - ALL CUT AND FILL SLOPES ARE TO BE SEEDED AND HYDROMULCHED WITHIN 10 DAYS OF COMPLETION OF FORMATION.
 - AFTER REVEGETATION OF THE SITE IS COMPLETE AND THE SITE IS STABLE IN THE OPINION OF A SUITABLY QUALIFIED PERSON ALL TEMPORARY WORK SUCH AS SILT FENCE, DIVERSION DRAINS ETC SHALL BE REMOVED.
 - ALL TOPSOIL STOCKPILES ARE TO BE SUITABLY COVERED TO THE SATISFACTION OF THE SITE MANAGER TO PREVENT WIND AND WATER EROSION.
 - ANY AREA THAT IS NOT APPROVED BY THE CONTRACT ADMINISTRATOR FOR CLEARING OR DISTURBANCE BY THE CONTRACTOR'S ACTIVITIES SHALL BE CLEARLY MARKED AND SIGN POSTED, FENCED OFF OR OTHERWISE APPROPRIATELY PROTECTED AGAINST ANY SUCH DISTURBANCE.
 - ALL STOCKPILE SITES SHALL BE SITUATED IN AREAS APPROVED FOR SUCH USE BY THE SITE MANAGER. A 6m BUFFER ZONE SHALL EXIST BETWEEN STOCKPILE SITES AND ANY STREAM OR FLOW PATH. ALL STOCKPILES SHALL BE ADEQUATELY PROTECTED FROM EROSION AND CONTAMINATION OF THE SURROUNDING AREA BY USE OF THE MEASURES APPROVED IN THE EROSION AND SEDIMENTATION CONTROL PLAN.
 - ACCESS AND EXIT AREAS SHALL INCLUDE SHAKE-DOWN OR OTHER METHODS APPROVED BY THE SITE MANAGER FOR THE REMOVAL OF SOIL MATERIALS FROM MOTOR VEHICLES.
 - THE CONTRACTOR IS TO ENSURE RUNOFF FROM ALL AREAS WHERE THE NATURAL SURFACE IS DISTURBED BY CONSTRUCTION, INCLUDING ACCESS ROADS, DEPOT AND STOCKPILE SITES, SHALL BE FREE OF POLLUTANTS BEFORE IT IS EITHER DISPERSED TO STABLE AREAS OR DIRECTED TO NATURAL WATERCOURSES.
 - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SLOPES, CROWNS AND DRAINS ON ALL EXCAVATIONS AND EMBANKMENTS TO ENSURE SATISFACTORY DRAINAGE AT ALL TIMES. WATER SHALL NOT BE ALLOWED TO POND ON THE WORKS UNLESS SUCH PONDING IS PART OF AN APPROVED ESCP / SWMP.



LOCALITY PLAN
NOT TO SCALE



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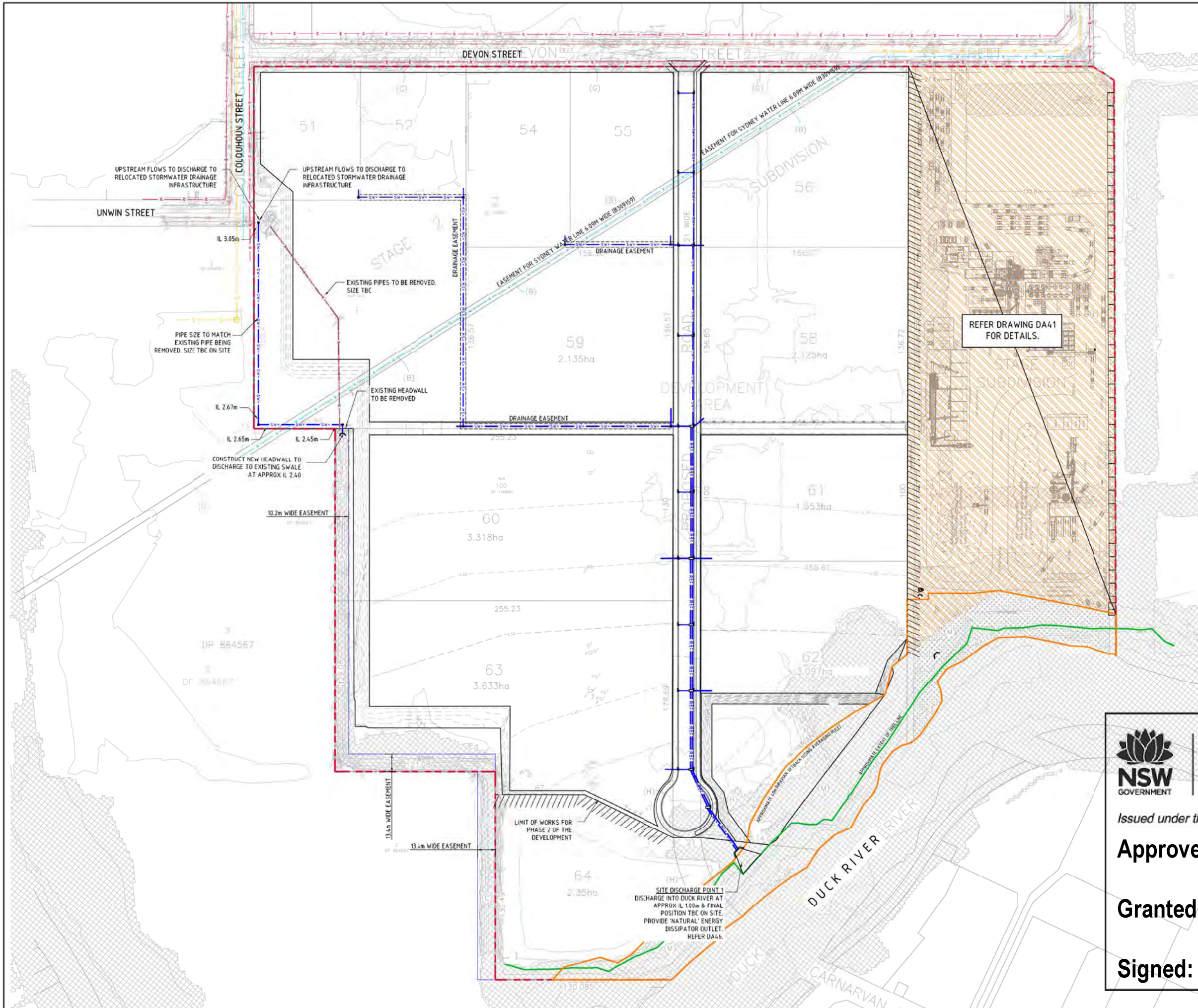
Approved Application No: SSD-10459

Granted on: 31 January 2021

Signed: JF Sheet No: 5 of 44

FOR INFORMATION

ISSUED FOR INFORMATION	12.08.20	C	ARCHITECT	CLIENT	PROJECT	Costin Roe Consulting Pty Ltd.	PRECISION COMMUNICATION ACCOUNTABILITY	DRAWING TITLE
REVISED AS CLOUED	21.07.20	B			SUSTAINABLE ROAD RESOURCE CENTRE (PHASE 1)	Costin Roe Consulting Pty Ltd. Level 4, 4 Macquarie Street Wahbi, Bay, Sydney NSW 2000 Tel: (61) 902-1088 Fax: (61) 902-0752 Email: costin@costinroe.com.au		DRAWING LIST & GENERAL NOTES
ISSUED FOR INFORMATION	08.07.20	A			9 DEVON STREET, CLYDE NSW			CO13919.01-DA10
AMENDMENTS	DATE	ISSUE	AMENDMENTS	DATE	ISSUE			



LEGEND:
LEVELS DATUM IS AHD.

EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY INFORMATION PROVIDED BY LANDPARTNERS TITLED AS0205 Clyde_BE_210620 TIN DATED 08/07/20.

- - SINGLE GRATED GULLY PIT (SGGP)
- (blue) — - PROPOSED DRAINAGE LINE
- (grey) — - EXISTING DRAINAGE LINE
- (red) — - EXISTING DRAINAGE LINE TO BE REMOVED
- (black) — - SUPER LOT BOUNDARY
- (pink) — - EXISTING ELECTRICAL LINE
- (cyan) — - EXISTING WATER LINE
- (yellow) — - EXISTING SEWER LINE
- (orange) — - SEWER RISING MAIN
- (brown) — - 105kPa GAS MAIN
- ▨ - Q100 FLOOD EXTENT
- (green) — - APPROXIMATE EXTENT OF TREE LINE
- (orange) — - RIPARIAN SETBACK

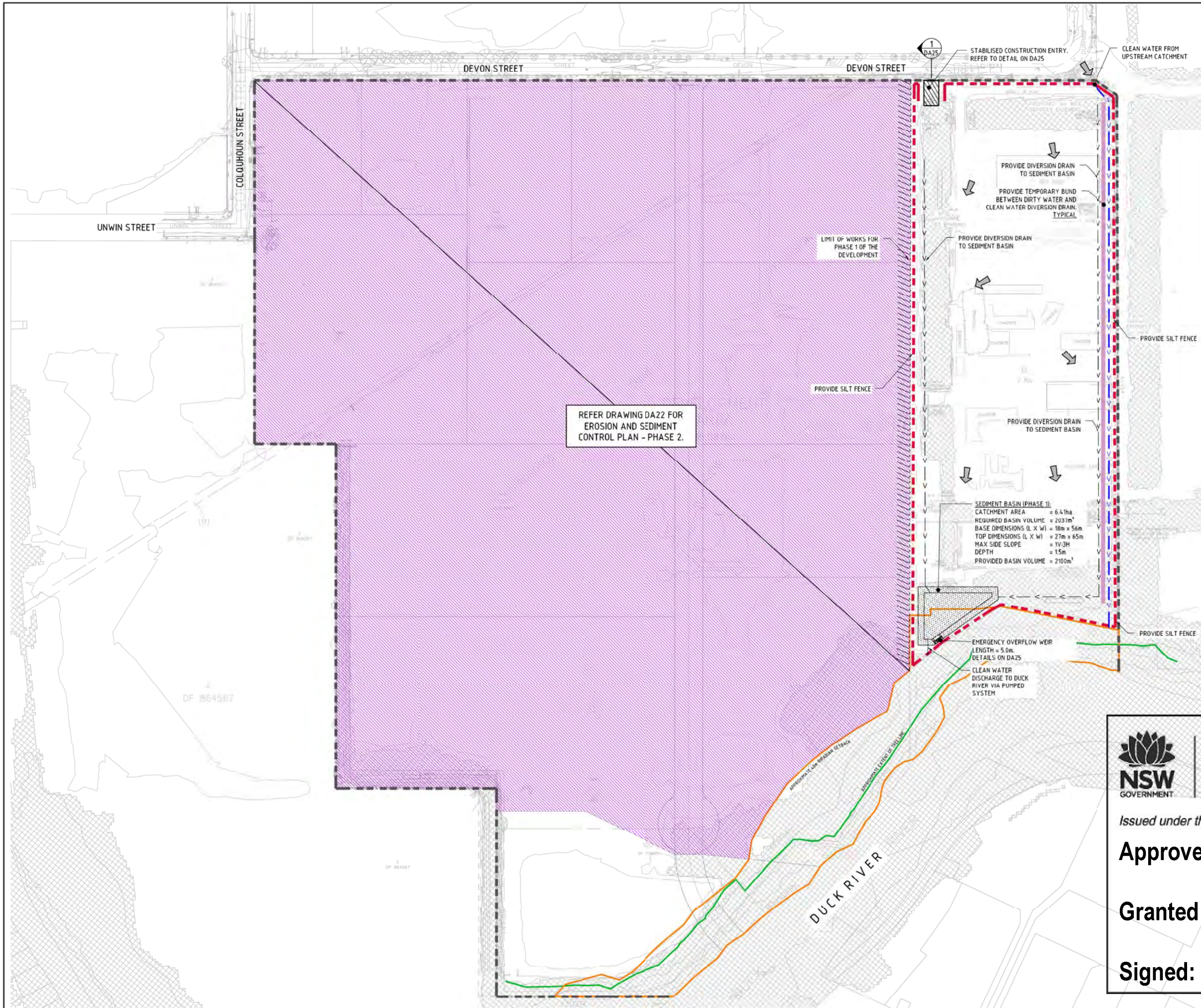
NSW GOVERNMENT | **Planning, Industry & Environment**

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Approved Application No: SSD-10459

Granted on: 31 January 2021

Signed: JF **Sheet No: 6 of 44**



SEDIMENTATION BASIN NOTE:

FOR SEDIMENT & EROSION CONTROL DETAILS REFER TO DRAWING C013919.01-DA25.

SEDIMENTATION BASIN SIZING BASED ON RECOMMENDATIONS OF 'SOILS AND CONSTRUCTION, MANAGING URBAN STORMWATER - THE BLUE BOOK'. CAPACITY BASED UPON 5 DAY RAINFALL DEPTH AT 85th PERCENTILE INTENSITY (33.1mm).

SEDIMENTATION BASINS TO COLLECT RUN-OFF IN EXTREME RAINFALL EVENTS. COLLECTED RUN-OFF TO BE ASSESSED BY A QUALIFIED LABORATORY FOR DOUSING RATES OF ALUM OR GYPSUM TO ENSURE COAGULATION OF SEDIMENTS PRIOR TO WATER BEING DISCHARGED TO COUNCIL STORMWATER SYSTEM.

EACH BASIN IS TO HAVE A MARKER PLACED AS PER THE DETAIL TO INDICATE WHEN SEDIMENT IS TO BE REMOVED. REMOVED SEDIMENT IS TO BE CLASSED AND DEWATERED PRIOR TO REMOVAL FROM SITE.

ALLOWANCE TO BE MADE DURING BENCHING OF SITE TO ENSURE RUN-OFF IS DIRECTED TO SEDIMENTATION BASINS.

NOTES:

1. ASSUME TYPE D SOIL (CLAY)
2. ASSUME GROUP D SOIL (HIGH PLASTICITY AND SHRINK/SWELL PROPERTIES)

LEGEND:

PROVIDE 1m RETURNS TO SILT FENCE AT 30m MAX. INTERVALS. TYPICAL (N.S.D.P.)

- - - SILT FENCE ONLY
- - - SITE BOUNDARY
- > > DIVERSION DRAIN
- > > CLEAN WATER DIVERSION DRAIN
- ➔ OVERLAND FLOW DIRECTION
- - - APPROXIMATE EXTENT OF TREE LINE
- - - RIPARIAN SETBACK

EROSION & SEDIMENT CONTROL NOTE:

REFER TO DA0 FOR EROSION & SEDIMENT CONTROL NOTES

REFER DRAWING DA22 FOR EROSION AND SEDIMENT CONTROL PLAN - PHASE 2.

SEDIMENT BASIN (PHASE 1):

CATCHMENT AREA = 6.41ha
 REQUIRED BASIN VOLUME = 2037m³
 BASE DIMENSIONS (L X W) = 18m x 56m
 TOP DIMENSIONS (L X W) = 27m x 65m
 MAX SIDE SLOPE = 1V:3H
 DEPTH = 1.5m
 PROVIDED BASIN VOLUME = 2100m³

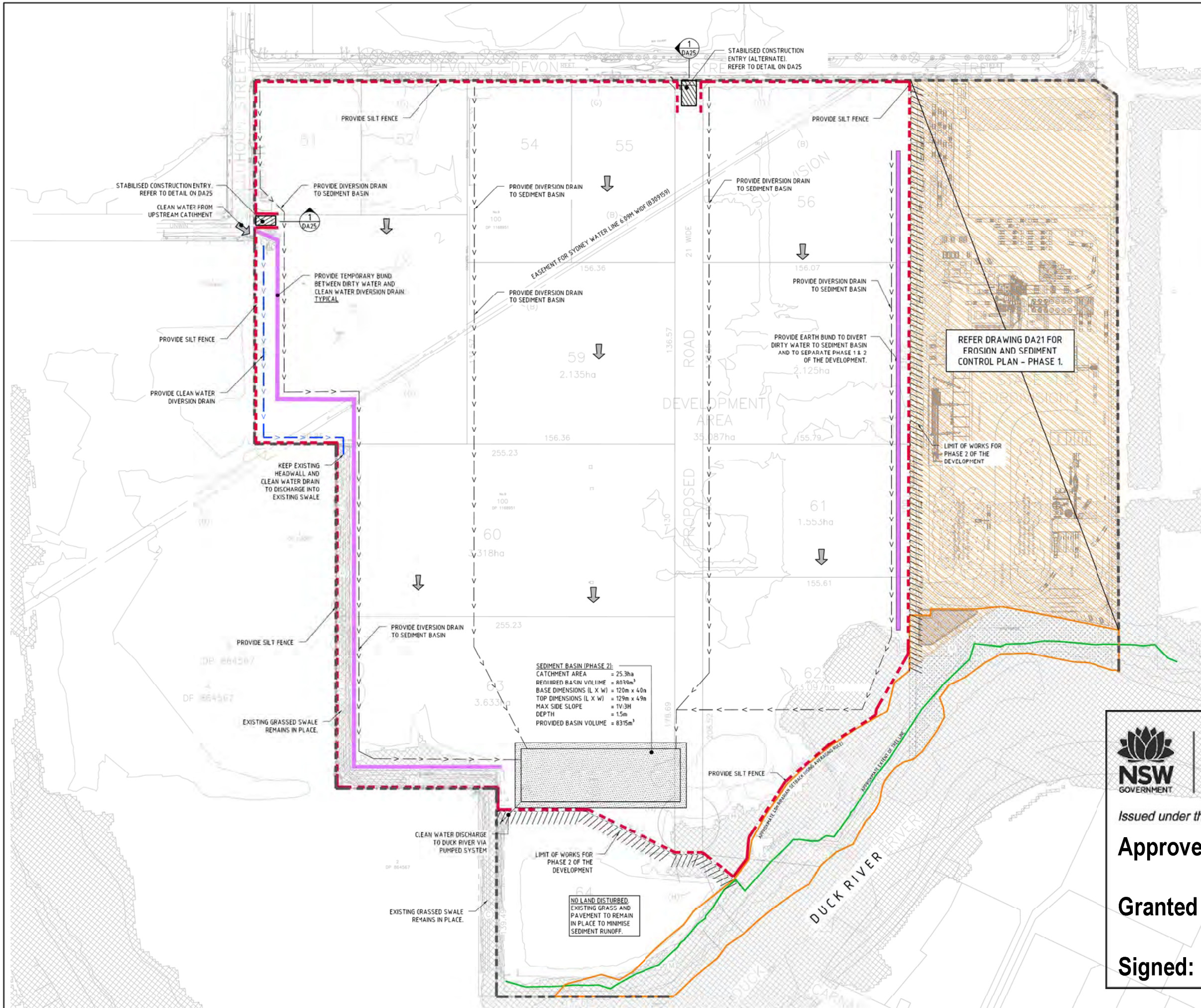
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Approved Application No: SSD-10459

Granted on: 31 January 2021

Signed: JF **Sheet No: 7 of 44**



SEDIMENTATION BASIN NOTE:

FOR SEDIMENT & EROSION CONTROL DETAILS REFER TO DRAWING C013919.01-DA25.

SEDIMENTATION BASIN SIZING BASED ON RECOMMENDATIONS OF 'SOILS AND CONSTRUCTION, MANAGING URBAN STORMWATER - THE BLUE BOOK', CAPACITY BASED UPON 5 DAY RAINFALL DEPTH AT 85th PERCENTILE INTENSITY (33.1mm).

SEDIMENTATION BASINS TO COLLECT RUN-OFF IN EXTREME RAINFALL EVENTS. COLLECTED RUN-OFF TO BE ASSESSED BY A QUALIFIED LABORATORY FOR DOUSING RATES OF ALUM OR GYPSUM TO ENSURE COAGULATION OF SEDIMENTS PRIOR TO WATER BEING DISCHARGED TO COUNCIL STORMWATER SYSTEM.

EACH BASIN IS TO HAVE A MARKER PLACED AS PER THE DETAIL TO INDICATE WHEN SEDIMENT IS TO BE REMOVED. REMOVED SEDIMENT IS TO BE CLASSED AND DEWATERED PRIOR TO REMOVAL FROM SITE.

ALLOWANCE TO BE MADE DURING BENCHING OF SITE TO ENSURE RUN-OFF IS DIRECTED TO SEDIMENTATION BASINS.

NOTES:

1. ASSUME TYPE D SOIL (CLAY)
2. ASSUME GROUP D SOIL (HIGH PLASTICITY AND SHRINK/SWELL PROPERTIES)

LEGEND:

PROVIDE 1m RETURNS TO SILT FENCE AT 30m MAX. INTERVALS. TYPICAL (N.S.D.?)

- - - SILT FENCE ONLY
- - - SITE BOUNDARY
- > - DIVERSION DRAIN
- > - CLEAN WATER DIVERSION DRAIN
- ➔ - OVERLAND FLOW DIRECTION
- - - APPROXIMATE EXTENT OF TREE LINE
- - - RIPARIAN SETBACK

EROSION & SEDIMENT CONTROL NOTE:

REFER TO DA10 FOR EROSION & SEDIMENT CONTROL NOTES

REFER DRAWING DA21 FOR EROSION AND SEDIMENT CONTROL PLAN - PHASE 1.

SEDIMENT BASIN (PHASE 2):

- CATCHMENT AREA = 25.3ha
- REQUIRED BASIN VOLUME = 8030m³
- BASE DIMENSIONS (L X W) = 120m x 40m
- TOP DIMENSIONS (L X W) = 129m x 49m
- MAX SIDE SLOPE = 1V:3H
- DEPTH = 1.5m
- PROVIDED BASIN VOLUME = 8315m³

NO LAND DISTURBED EXISTING GRASS AND PAVEMENT TO REMAIN IN PLACE TO MINIMISE SEDIMENT RUNOFF.

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Approved Application No: SSD-10459

Granted on: 31 January 2021

Signed: JF **Sheet No: 8 of 44**

SEDIMENTATION BASIN NOTE:

FOR SEDIMENT & EROSION CONTROL DETAILS REFER TO DRAWING C013919.01-DA25.

SEDIMENTATION BASIN SIZING BASED ON RECOMMENDATIONS OF 'SOILS AND CONSTRUCTION, MANAGING URBAN STORMWATER - THE BLUE BOOK'. CAPACITY BASED UPON 5 DAY RAINFALL DEPTH AT 85th PERCENTILE INTENSITY (33.1mm).

SEDIMENTATION BASINS TO COLLECT RUN-OFF IN EXTREME RAINFALL EVENTS. COLLECTED RUN-OFF TO BE ASSESSED BY A QUALIFIED LABORATORY FOR DOUSING RATES OF ALUM OR GYPSUM TO ENSURE COAGULATION OF SEDIMENTS PRIOR TO WATER BEING DISCHARGED TO LOCAL STORMWATER SYSTEM.

EACH BASIN IS TO HAVE A MARKER PLACED AS PER THE DETAIL TO INDICATE WHEN SEDIMENT IS TO BE REMOVED. REMOVED SEDIMENT IS TO BE CLASSED AND DEWATERED PRIOR TO REMOVAL FROM SITE.

ALLOWANCE TO BE MADE DURING BENCHING OF SITE TO ENSURE RUN-OFF IS DIRECTED TO SEDIMENTATION BASINS.

NOTES:
 1. ASSUME TYPE U SOIL (CLAY)
 2. ASSUME GROUP D SOIL (HIGH PLASTICITY AND SHRINK/SWELL PROPERTIES)

LEGEND:

PROVIDE 1m RETURNS TO SILT FENCE AT 30m MAX. INTERVALS. TYPICAL (N.S.O.P.)

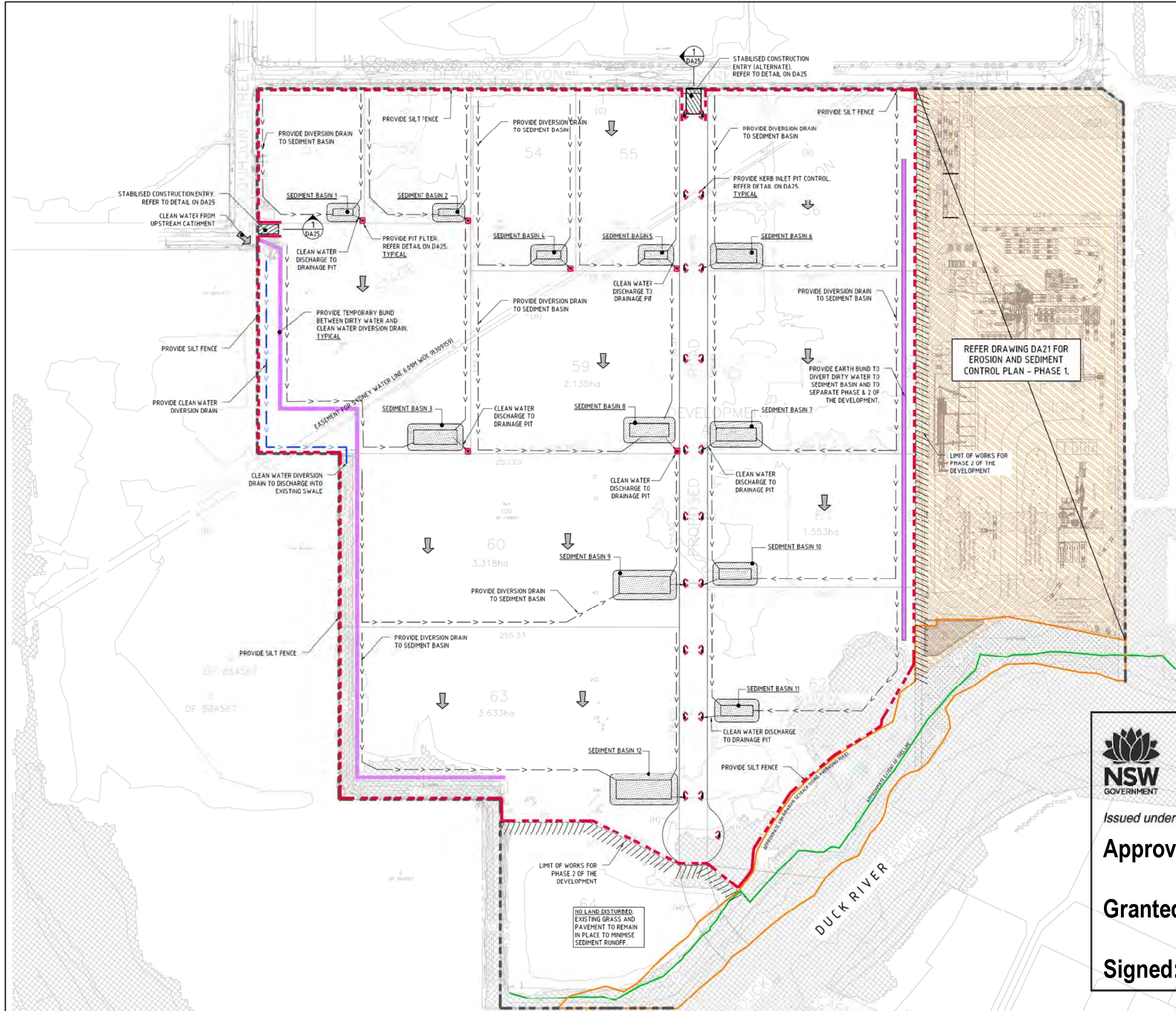
- - - - - SILT FENCE ONLY
- - - - - SITE BOUNDARY
- - - - - DIVERSION DRAIN
- - - - - CLEAN WATER DIVERSION DRAIN
- OVERLAND FLOW DIRECTION
- APPROXIMATE EXTENT OF TREE LINE
- RIPARIAN SETBACK

EROSION & SEDIMENT CONTROL NOTE:

REFER TO DA10 FOR EROSION & SEDIMENT CONTROL NOTES

SEDIMENT BASIN SCHEDULE

BASIN No.	CATCHMENT AREA (Ha)	REQUIRED BASIN VOLUME	BASE DIMENSIONS (LxW)	TOP DIMENSIONS (LxW)	MAX SLIDE SLOPE	DEPTH	PROVIDED BASIN VOLUME
SEDIMENT BASIN 1	0.77	24m³	15mX5m	24mX14m	1V:3H	1.5m	285m³
SEDIMENT BASIN 2	0.77	24m³	15mX5m	24mX14m	1V:3H	1.5m	285m³
SEDIMENT BASIN 3	2.76	876m³	33mX11m	42mX20m	1V:3H	1.5m	878m³
SEDIMENT BASIN 4	1.03	327m³	18mX6m	27mX15m	1V:3H	1.5m	361m³
SEDIMENT BASIN 5	1.03	327m³	18mX6m	27mX15m	1V:3H	1.5m	361m³
SEDIMENT BASIN 6	2.06	654m³	30mX10m	39mX19m	1V:3H	1.5m	756m³
SEDIMENT BASIN 7	2.13	675m³	30mX10m	39mX19m	1V:3H	1.5m	756m³
SEDIMENT BASIN 8	2.14	678m³	30mX10m	39mX19m	1V:3H	1.5m	756m³
SEDIMENT BASIN 9	3.32	1054m³	39mX13m	48mX22m	1V:3H	1.5m	1147m³
SEDIMENT BASIN 10	1.55	493m³	24mX8m	33mX17m	1V:3H	1.5m	541m³
SEDIMENT BASIN 11	1.50	477m³	24mX8m	33mX17m	1V:3H	1.5m	541m³
SEDIMENT BASIN 12	3.63	1154m³	42mX14m	51mX23m	1V:3H	1.5m	1296m³



REFER DRAWING DA21 FOR EROSION AND SEDIMENT CONTROL PLAN - PHASE 1.

LIMIT OF WORKS FOR PHASE 2 OF THE DEVELOPMENT

EROSION & SEDIMENT CONTROL PLAN - FINAL STAGE
SCALE 1:1000

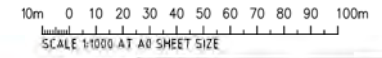
NSW GOVERNMENT | **Planning, Industry & Environment**

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Approved Application No: SSD-10459

Granted on: 31 January 2021

Signed: JF **Sheet No: 9 of 44**



REVISION	DATE	ISSUE	AMENDMENTS
REVISED PER NEW SITE PLAN	30.11.20	F	
REVISED PER CLIENT COMMENTS	20.11.20	E	
REVISED PER NEW SITE PLAN	16.11.20	D	
ISSUED FOR INFORMATION	12.08.20	C	
REVISED AS CLOUSED	21.07.20	B	
ISSUED FOR INFORMATION	08.07.20	A	

DATE	ISSUE	AMENDMENTS	DATE	ISSUE

PROJECT	CLIENT
SUSTAINABLE ROAD RESOURCE CENTRE (PHASE 1) 9 DEVON STREET, CLYDE NSW	

DESIGNED	DRAWN	CHECKED	DATE	SCALE	CAD REF.

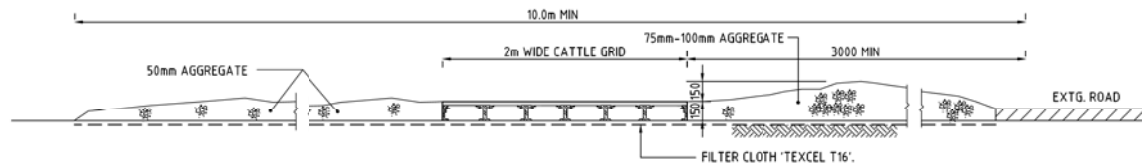
FOR INFORMATION

Costin Roe Consulting Pty Ltd
 Consulting Engineers
 Level 2, 6 Macquarie Street
 Wauchope, Sydney NSW 2000
 Tel: (02) 9552-1000 Fax: (02) 9552-0752
 email: info@costinroec.com.au

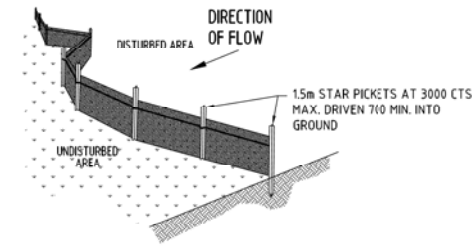
Costin Roe Consulting

PRECISION | COMMUNICATION | ACCOUNTABILITY

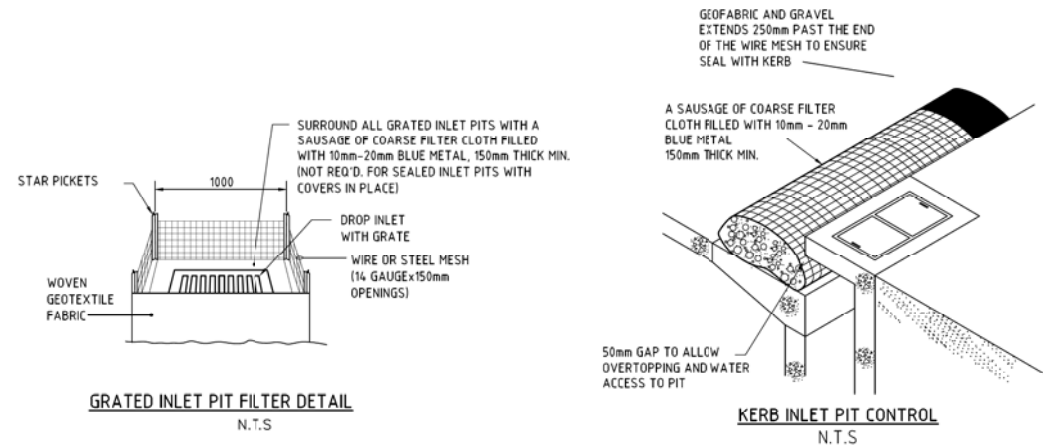
DRAWING TITLE	PROJECT NO.
EROSION & SEDIMENT CONTROL PLAN - FINAL STAGE	C013919.01-DA23



SECTION 1:20 (1) : STABILISED CONSTRUCTION ENTRANCE 'TRUCK SHAKER'



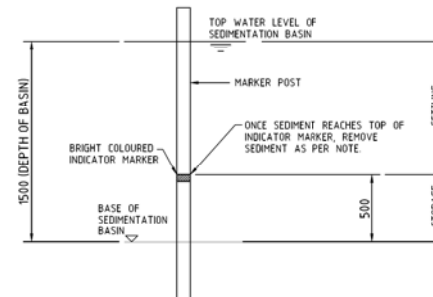
TYPICAL SILT FENCE DETAIL
N.T.S.
PROVIDE 1m RETURNS AT 30m INTERVALS.
TYPICAL



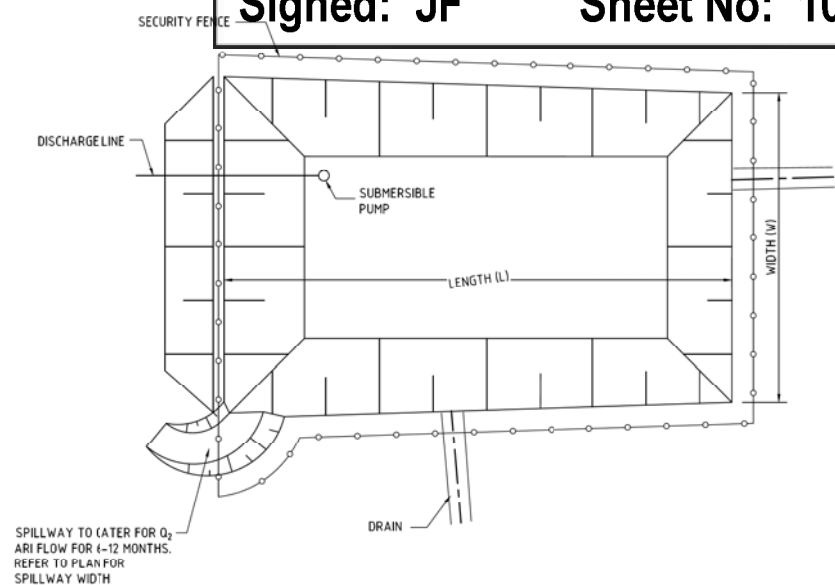
GRATED INLET PIT FILTER DETAIL
N.T.S.

KERB INLET PIT CONTROL
N.T.S.

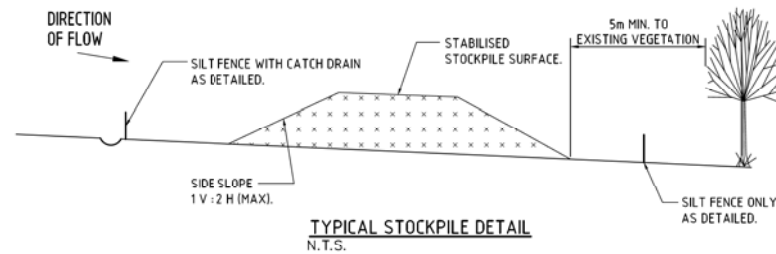
NOTE: ADOPT ABOVE DETAILS AROUND ALL PITS WITHIN AREA ENCOMPASSED BY SILT FENCE & PITS ON THE ROAD ADJACENT TO SITE BOUNDARY.



SEDIMENT STORAGE MARKER
SCALE 1:20

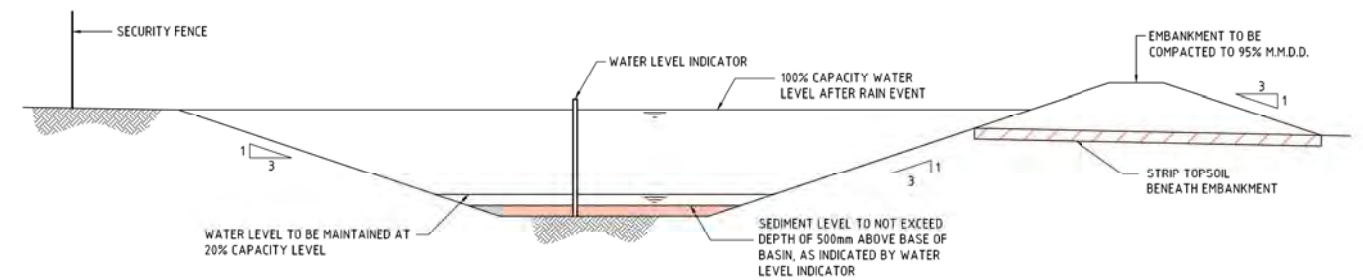


TYPICAL SEDIMENT CONTROL POND PLAN
SCALE 1:250

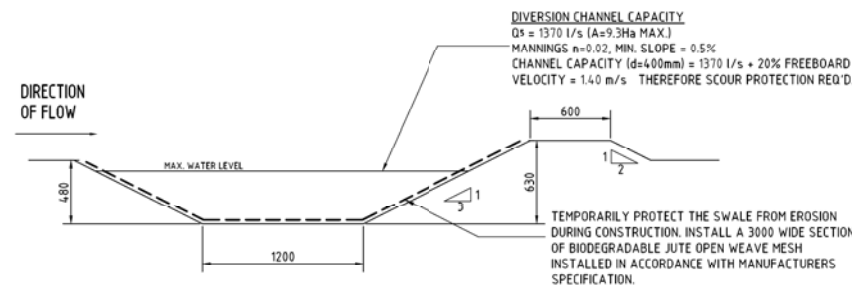


TYPICAL STOCKPILE DETAIL
N.T.S.

STOCKPILE NOTES
1. PLACE ALL STOCKPILES IN LOCATIONS MORE THAN 5m FROM EXISTING VEGETATION, ROADS & HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT ELONGATED MOUNDS. SIDE SLOPE TO BE 1V:2H MAX.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2m IN HEIGHT.
4. WHERE STOCKPILES ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE USING WOOD CHIP MULCH - 15 TONNE/Ha.
5. CONSTRUCT SILT FENCE WITH CATCH DRAIN ON UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES & SILT FENCE ONLY 1 TO 2m DOWNSLOPE AS SHOWN.



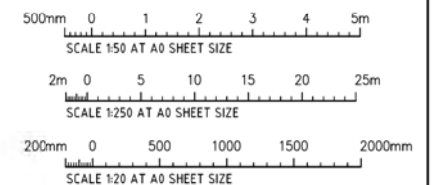
TYPICAL SEDIMENT CONTROL BASIN SECTION
SCALE 1:50



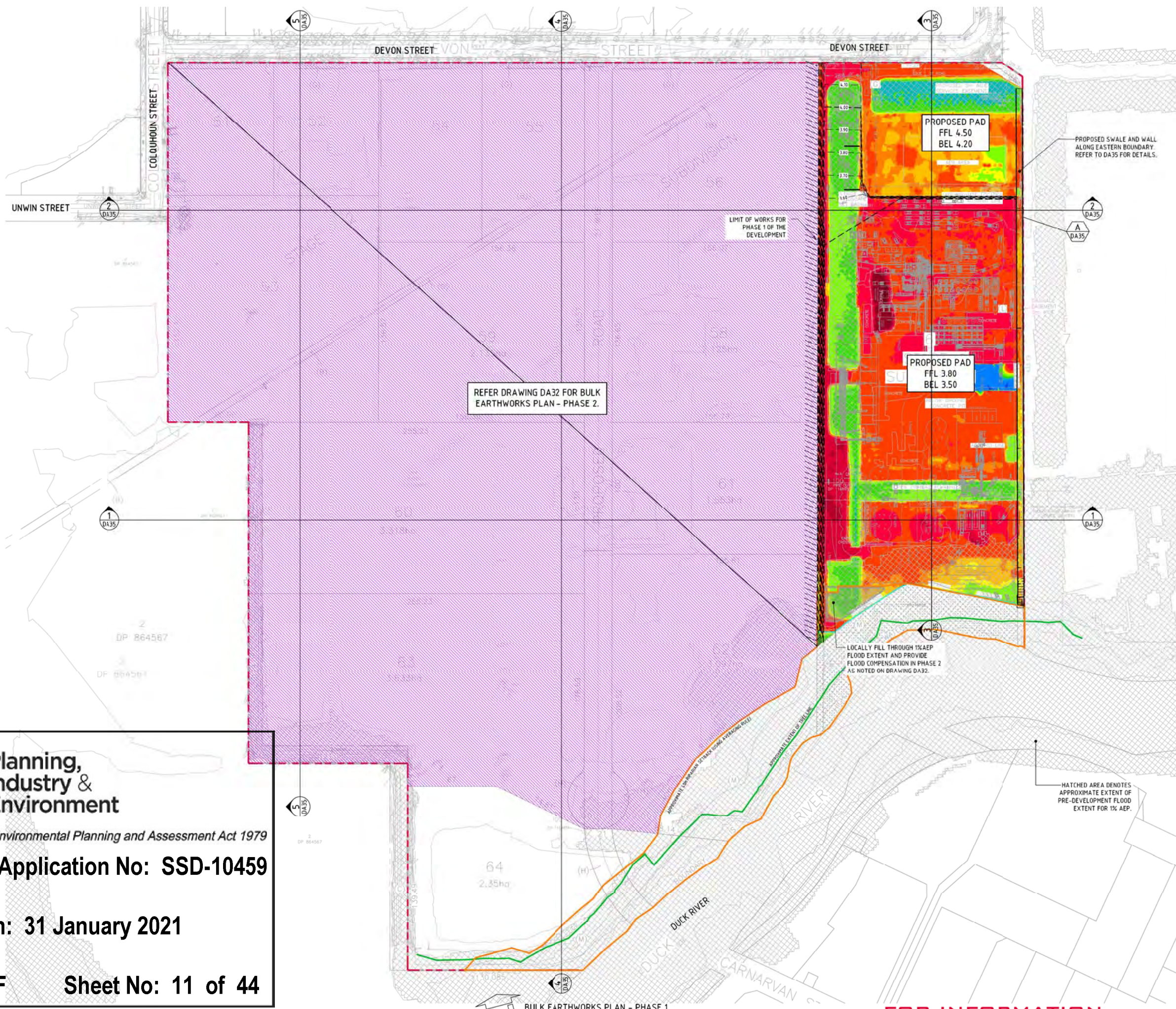
DIVERSION DRAIN SECTION
SCALE 1:20

DIVERSION CHANNEL CAPACITY
Qs = 1370 l/s (A=9.3Ha MAX.)
MANNINGS n=0.02, MIN. SLOPE = 0.5%
CHANNEL CAPACITY (d=400mm) = 1370 l/s + 20% FREEBOARD
VELOCITY = 1.40 m/s THEREFORE SCOUR PROTECTION REQ'D.

TEMPORARILY PROTECT THE SWALE FROM EROSION DURING CONSTRUCTION. INSTALL A 3000 WIDE SECTION OF BIODEGRADABLE JUTE OPEN WEAVE MESH INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.



FOR INFORMATION



LEGEND

LEVELS DATUM IS AHD.

- DESIGN CONTOUR (MAJOR 0.5m)
- DESIGN CONTOUR (MINOR 0.1m)
- EXISTING CONTOUR (0.25m INTERVALS)
- APPROXIMATE EXTENT OF TREE LINE
- RIPARIAN SETBACK

PAVEMENT DETAIL (LOT 6)
N.T.S.

PRELIMINARY BULK EARTHWORKS VOLUMES

PHASE 1 - DOWNER PAD (LOT 6) BULK EARTHWORKS VOLUME

CUT	= - 17,800 m ³
FILL	= + 17,800 m ³
BALANCE	= NIL

IMPORT ALLOWANCE = + 10,000 m³ (MAX.)
(FOR SITE PRESENTATION & GENERAL FILLING OF REMEDIATED WORKS)

NO ALLOWANCE HAS BEEN MADE FOR DELETERIOUS MATERIAL, UNCONTROLLED FILL MATERIAL TO BE REWORKED, EROSION AND SEDIMENT CONTROL, BULKING OR COMPACTION OF FILLED SOILS OR TOPSOIL BLENDING.

NOTE:
FILLING LEVELS ARE APPROXIMATE ONLY. LEVELS ARE BASED ON AN ANTICIPATED MASTERPLAN LAYOUT TO SUIT GENERAL INDUSTRIAL DEVELOPMENTS. CHANGES MAY BE REQUIRED TO SUIT FUTURE DESIGN OF THE ESTATE AND FUTURE WAREHOUSE FACILITY ARRANGEMENT.

LEVELS NOTE:
LEVELS TO BE ±200mm FROM THOSE SHOWN. FINAL LEVELS SUBJECT TO MINOR VARIATIONS TO SUIT DETAILED DESIGN.

FILL DEPTH RANGE

No.	FROM DEPTH	TO DEPTH	COLOUR
1	-3.00m	-2.50m	Dark Red
2	-2.50m	-2.00m	Red
3	-2.00m	-1.50m	Light Red
4	-1.50m	-1.00m	Orange
5	-1.00m	-0.50m	Light Orange
6	-0.50m	0.00m	Yellow
7	0.00m	0.50m	Light Green
8	0.50m	1.00m	Green
9	1.00m	1.50m	Light Blue
10	1.50m	2.00m	Blue
11	2.00m	2.50m	Dark Blue
12	2.50m	3.00m	Very Dark Blue
13	3.00m	3.50m	Black



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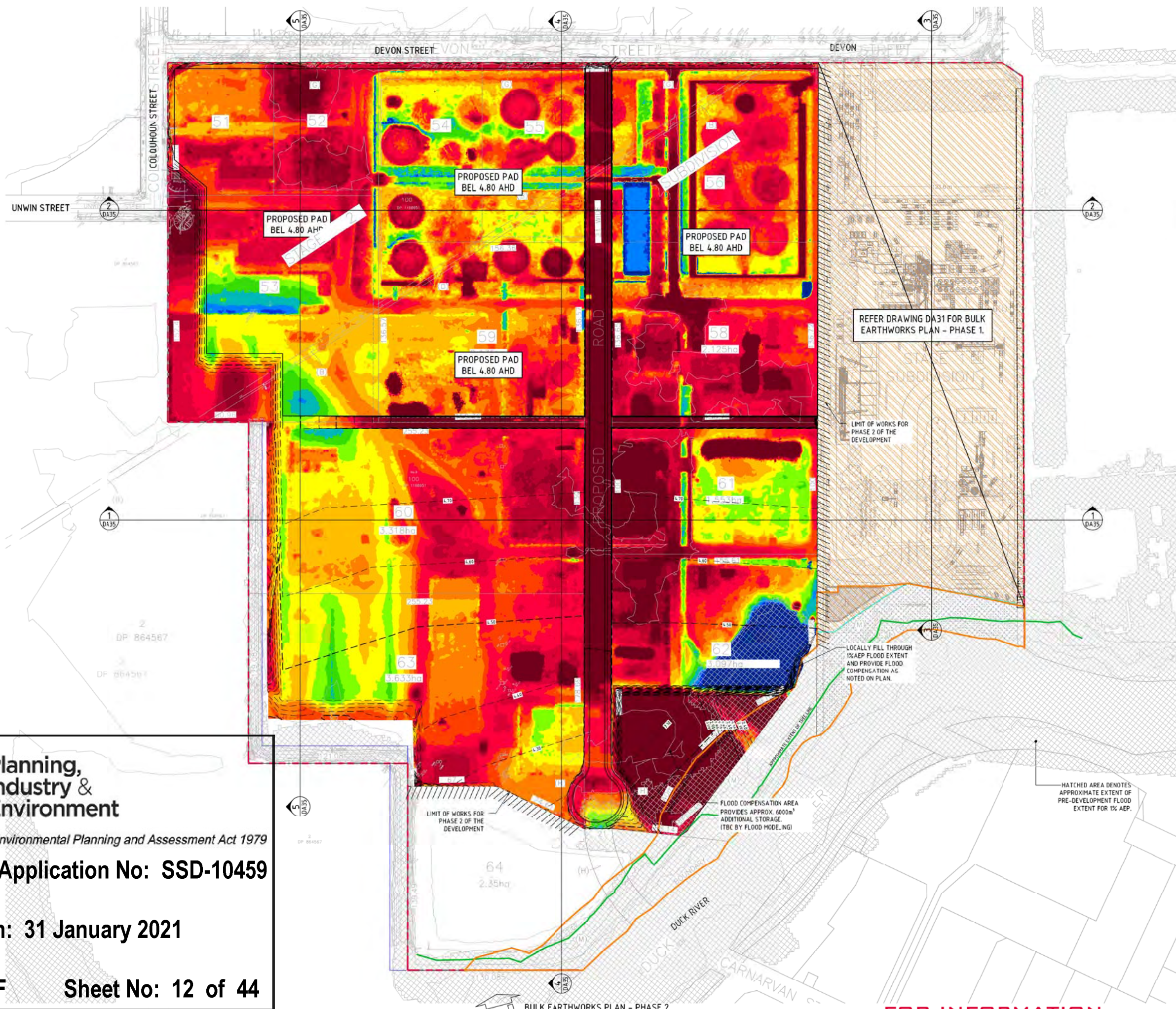
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-10459

Granted on: 31 January 2021

Signed: JF **Sheet No: 11 of 44**

REVISIONS: REVISED PER CLIENT COMMENTS 20.11.20 F REVISED PER NEW SITE PLAN 19.11.20 E ISSUED FOR INFORMATION 10.09.20 D REVISED AS CLOUDED 19.09.20 C REVISED AS CLOUDED 21.07.20 B ISSUED FOR INFORMATION 08.07.20 A AMENDMENTS:	ARCHITECT: [Blank] CLIENT: [Blank]	PROJECT: SUSTAINABLE ROAD RESOURCE CENTRE (PHASE 1) 9 DEVON STREET, CLYDE NSW	Costin Roe Consulting Pty Ltd. Consulting Engineers Level 2, 4 Macquarie Street Wauchope, Sydney NSW 2000 Tel: (02) 9623-1000 Fax: (02) 9623-0732 email: costin@costinroe.com.au	Costin Roe Consulting PRECISION COMMUNICATION ACCOUNTABILITY	DRAWING TITLE: BULK EARTHWORKS PLAN - PHASE 1 DRAWING NO: C013919.01-DA31
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LEGEND

LEVELS DATUM IS AHD.

- DESIGN CONTOUR (MAJOR 0.5m)
- DESIGN CONTOUR (MINOR 0.1m)
- EXISTING CONTOUR (0.25m INTERVALS)
- APPROXIMATE EXTENT OF TREE LINE
- RIPARIAN SETBACK

PAVEMENT DETAIL (LOT 6)
N.T.S.

PRELIMINARY BULK EARTHWORKS VOLUMES

PHASE 2 - LOT 1-7 BULK EARTHWORKS VOLUME

CUT = - 33,000 m³
FILL = + 33,000 m³
BALANCE = NIL

IMPORT ALLOWANCE = + 20,000 m³ (MAX.)
(FOR SITE PRESENTATION & GENERAL FILLING OF REMEDIATED WORKS)

EARTHWORKS VOLUME MAY CHANGE DEPENDING ON QUALITY OF SOURCE MATERIAL. NO ALLOWANCE HAS BEEN MADE FOR DELETERIOUS MATERIAL, UNCONTROLLED FILL MATERIAL TO BE REWORKED, EROSION AND SEDIMENT CONTROL, BULKING OR COMPACTION OF FILLED SOILS OR TOPSOIL BLENDING. ALLOW FOR CIRCA +20,000 m³ IMPORT FOR PAD.

NOTE:
FILLING LEVELS ARE APPROXIMATE ONLY. LEVELS ARE BASED ON AN ANTICIPATED MASTERPLAN LAYOUT TO SUIT GENERAL INDUSTRIAL DEVELOPMENTS. CHANGES MAY BE REQUIRED TO SUIT FUTURE DESIGN OF THE ESTATE AND FUTURE WAREHOUSE FACILITY ARRANGEMENT.

LEVELS NOTE:
LEVELS TO BE ±200mm FROM THOSE SHOWN. FINAL LEVELS SUBJECT TO MINOR VARIATIONS TO SUIT DETAILED DESIGN.

FILL DEPTH RANGE

No.	FROM DEPTH	TO DEPTH	COLOUR
1	-0.00m	-0.50m	Red
2	-0.50m	-0.40m	Red
3	-0.40m	-0.30m	Red
4	-0.30m	-0.20m	Red
5	-0.20m	-0.10m	Red
6	-0.10m	0.00m	Red
7	0.00m	0.10m	Orange
8	0.10m	0.20m	Yellow
9	0.20m	0.30m	Yellow
10	0.30m	0.40m	Yellow
11	0.40m	0.50m	Yellow
12	0.50m	0.60m	Yellow
13	0.60m	0.70m	Yellow
14	0.70m	0.80m	Yellow
15	0.80m	3.00m	Blue



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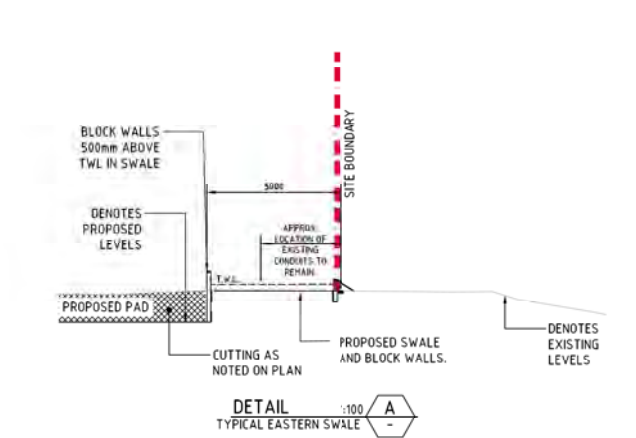
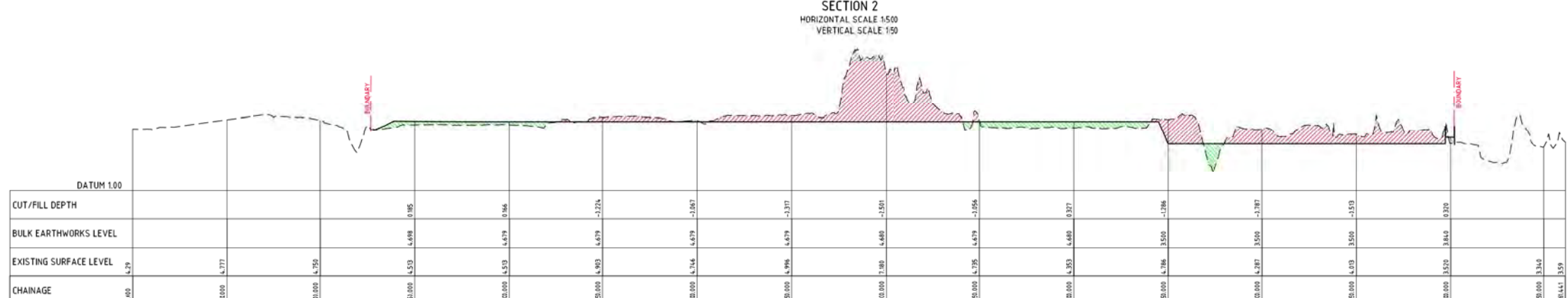
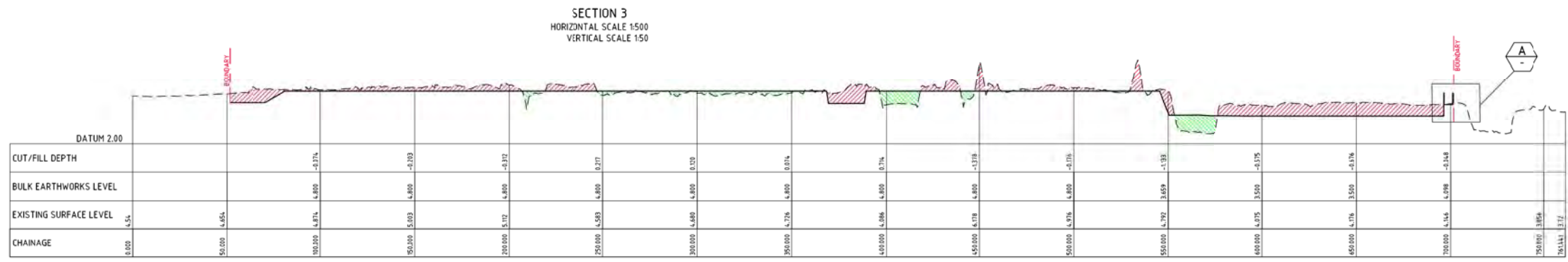
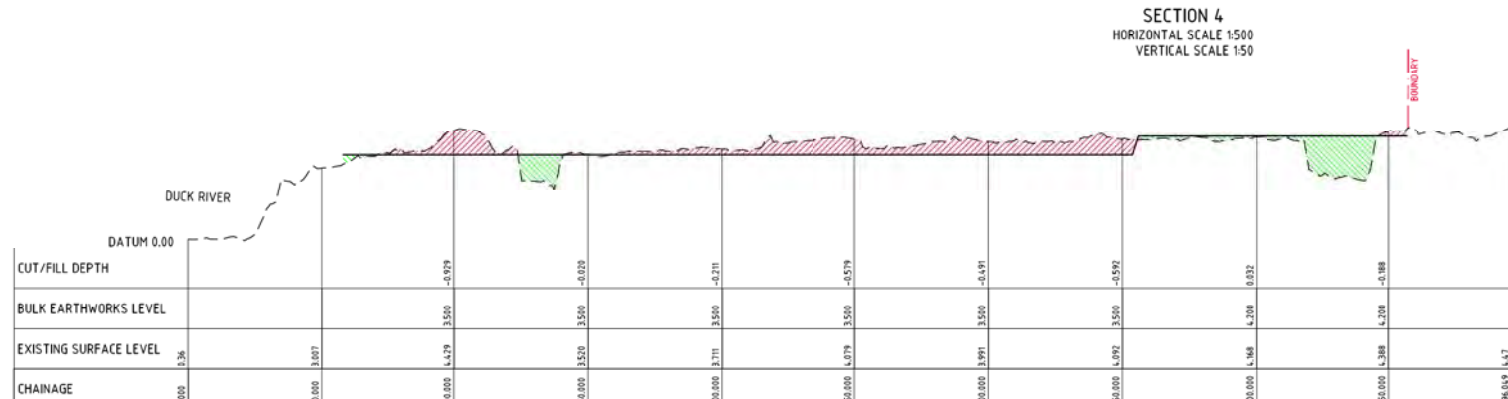
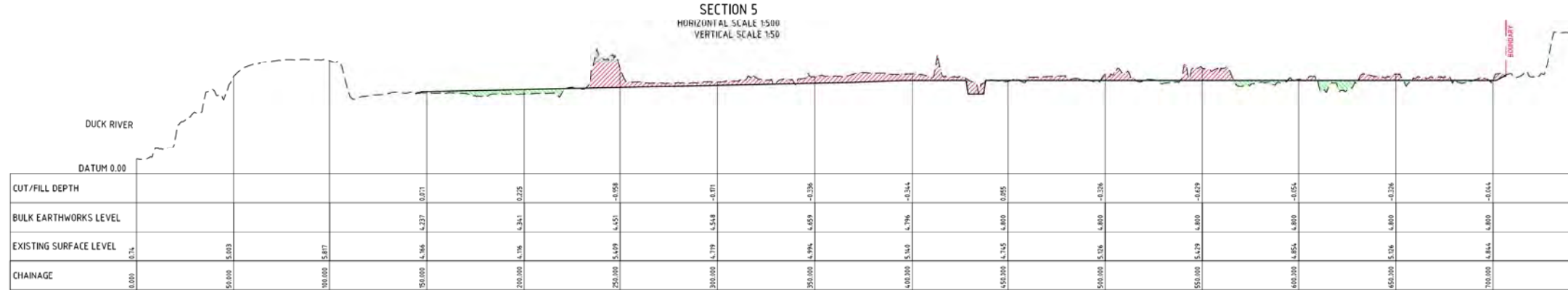
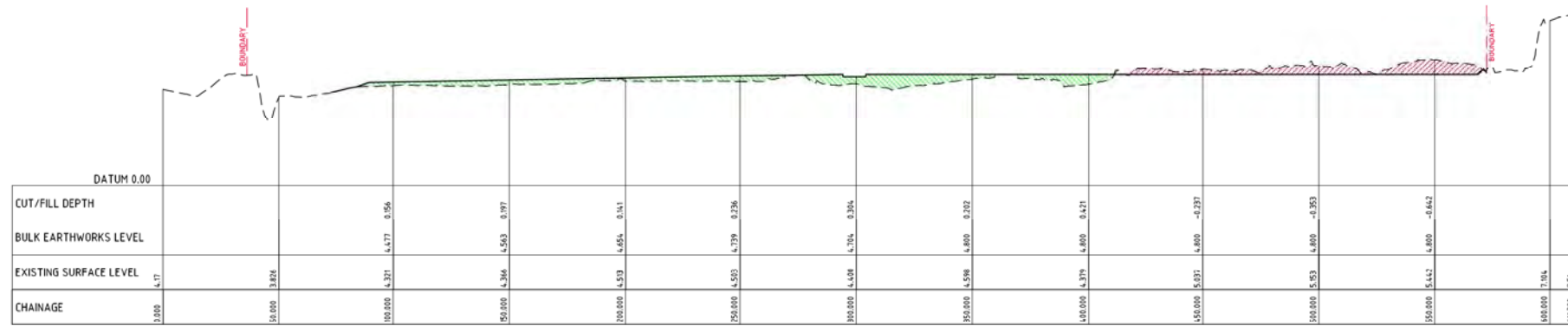
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Approved Application No: SSD-10459

Granted on: 31 January 2021

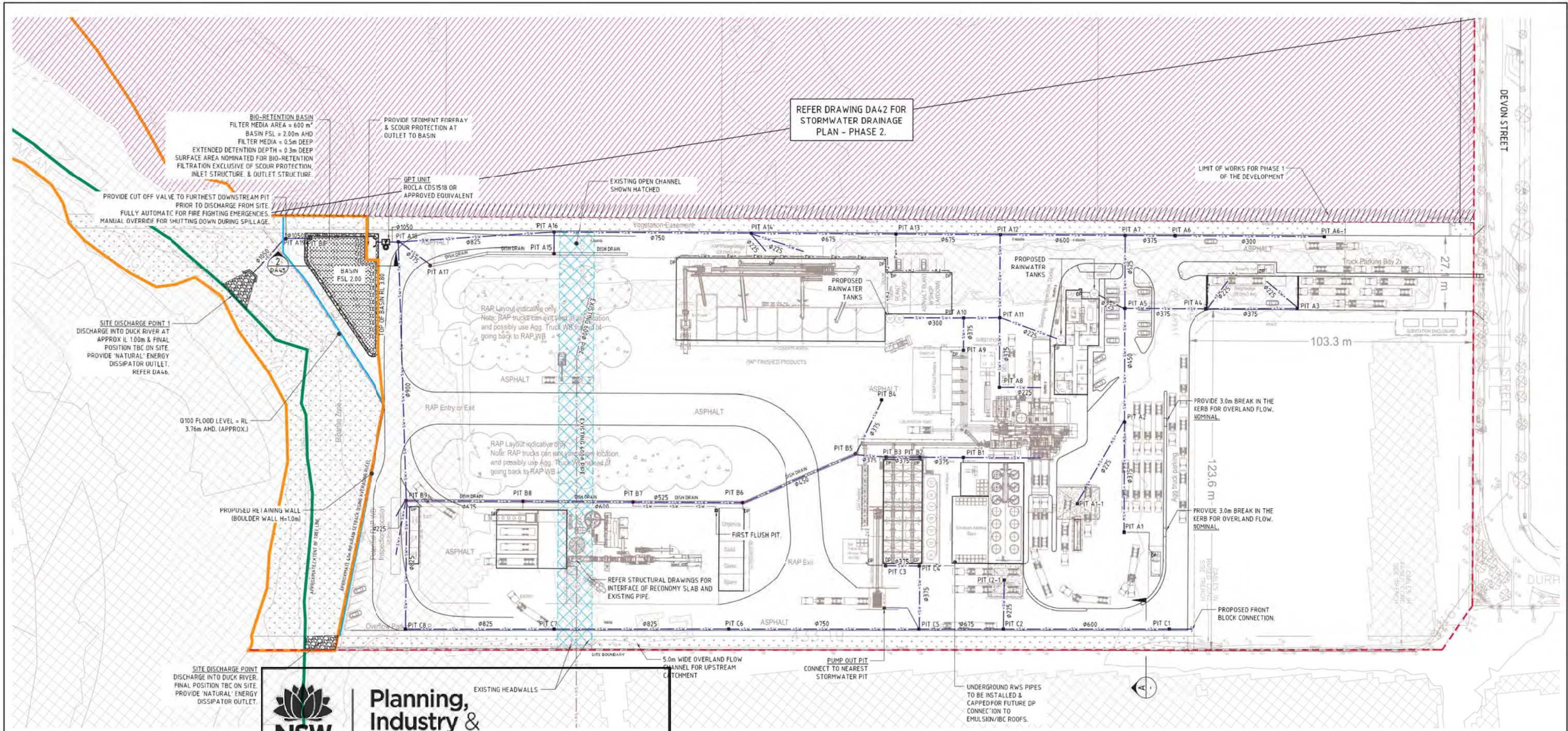
Signed: JF **Sheet No: 12 of 44**


REVISIONS: REVISED PER CLIENT COMMENTS: 20.11.20 F REVISED PER NEW SITE PLAN: 19.11.20 E ISSUED FOR INFORMATION: 18.09.20 D REVISED AS CLOURED: 18.09.20 C REVISED AS CLOURED: 21.07.20 B ISSUED FOR INFORMATION: 08.07.20 A AMENDMENTS:	ARCHITECT: [Blank] CLIENT: [Blank] PROJECT: SUSTAINABLE ROAD RESOURCE CENTRE (PHASE 1) 9 DEVON STREET, CLYDE NSW DESIGNED BY: [Blank] DATE: [Blank] CHECKED BY: [Blank] DATE: [Blank] SCALE: AS SHOWN DRAWING NO: [Blank] SHEET NO: 12 OF 44 CAD REF: E013919.01-DA32	Costin Roe Consulting Pty Ltd Consulting Engineers Level 1, 4 Macquarie Street Wollongong, Sydney NSW 2500 Tel: (02) 9022-7000 Fax: (02) 9022-0722 email: info@costinroe.com.au	FOR INFORMATION Costin Roe Consulting PRECISION COMMUNICATION ACCOUNTABILITY DRAWING TITLE: BULK EARTHWORKS PLAN - PHASE 2 SHEET NO: C013919.01-DA32
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FOR INFORMATION

<p>ISSUED FOR INFORMATION: 12.08.20 C</p> <p>REVISED FOR NEW SURVEY LEVELS: 21.07.20 B</p> <p>ISSUED FOR INFORMATION: 08.07.20 A</p>				<p>ARCHITECT: [Blank]</p> <p>CLIENT: [Blank]</p>				<p>PROJECT: SUSTAINABLE ROAD RESOURCE CENTRE (PHASE 1) 9 DEVON STREET, CLYDE NSW</p> <p>Costin Roe Consulting Pty Ltd Consulting Engineers Level 2, 8 Macleay Street Wahli Bay, Sydney NSW 2000 Tel (NSW) 9022-7888 Fax (NSW) 9022-4752 email: costin@costinroe.com.au</p>				<p>PRECISION COMMUNICATION ACCOUNTABILITY</p>														
<p>AMENDMENTS</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>ISSUE</th> <th>AMENDMENTS</th> <th>DATE</th> <th>ISSUE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>		DATE	ISSUE	AMENDMENTS	DATE	ISSUE											<p>ARCHITECT</p>		<p>CLIENT</p>		<p>PROJECT</p>		<p>PRECISION COMMUNICATION ACCOUNTABILITY</p>		<p>DRAWING TITLE: BULK EARTHWORKS SECTIONS C013919.01-DA35</p>	
DATE	ISSUE	AMENDMENTS	DATE	ISSUE																						

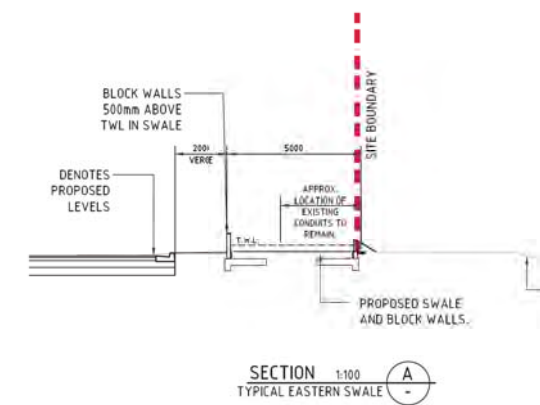



Planning, Industry & Environment
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Approved Application No: SSD-10459
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Signed: JF Sheet No: 14 of 44

PIT SCHEDULE - NETWORK A				
PIT No.	GRATE RL	TYPE	LID SIZE	COMMENT
PIT A01	3.80	SGGP	900X900	
PIT A02	3.80	SGGP	900X900	
PIT A02-1	3.70	SGGP	900X900	
PIT A03	3.93	SGGP	900X900	
PIT A04	3.93	SGGP	900X900	
PIT A5	3.80	SGGP	900X900	
PIT A6	3.82	SGGP	900X900	
PIT A6-1	3.90	SGGP	900X900	
PIT A7	3.80	SGGP	900X900	
PIT A8	3.80	SGGP	900X900	
PIT A9	3.80	SGGP	900X900	
PIT A10	3.80	SGGP	900X900	
PIT A11	3.80	SGGP	900X900	
PIT A12	3.75	SGGP	900X900	
PIT A13	3.80	SGGP	900X900	
PIT A14	3.80	SGGP	900X900	
PIT A15	3.70	SGGP	900X900	WITH PIT INSERT
PIT A16	3.70	SGGP	900X900	
PIT A17	3.70	SGGP	900X900	WITH PIT INSERT
PIT A18	3.75	SGGP	900X900	
PIT A19	3.80	SGGP	900X900	

PIT SCHEDULE - NETWORK B				
PIT No.	GRATE RL	TYPE	LID SIZE	COMMENT
PIT B01	4.00	SGGP	900X900	
PIT B02	4.10	SGGP	900X900	
PIT B03	4.10	SGGP	900X900	
PIT B04	3.90	SGGP	900X900	
PIT B05	3.70	SGGP	900X900	WITH PIT INSERT
PIT B06	3.70	SGGP	900X900	WITH PIT INSERT
PIT B07	3.70	SGGP	900X900	WITH PIT INSERT
PIT B08	3.70	SGGP	900X900	WITH PIT INSERT
PIT B09	3.70	SGGP	900X900	WITH PIT INSERT

PIT SCHEDULE - NETWORK C				
PIT No.	GRATE RL	TYPE	LID SIZE	COMMENT
PIT C01	3.90	SGGP	900X900	
PIT C02	3.90	SGGP	900X900	
PIT C02-1	3.90	SGGP	900X900	
PIT C03	4.10	SGGP	900X900	
PIT C04	4.10	SGGP	900X900	
PIT C5	3.90	SGGP	900X900	
PIT C6	3.90	SGGP	900X900	
PIT C7	3.80	SGGP	900X900	
PIT C8	3.80	SGGP	900X900	

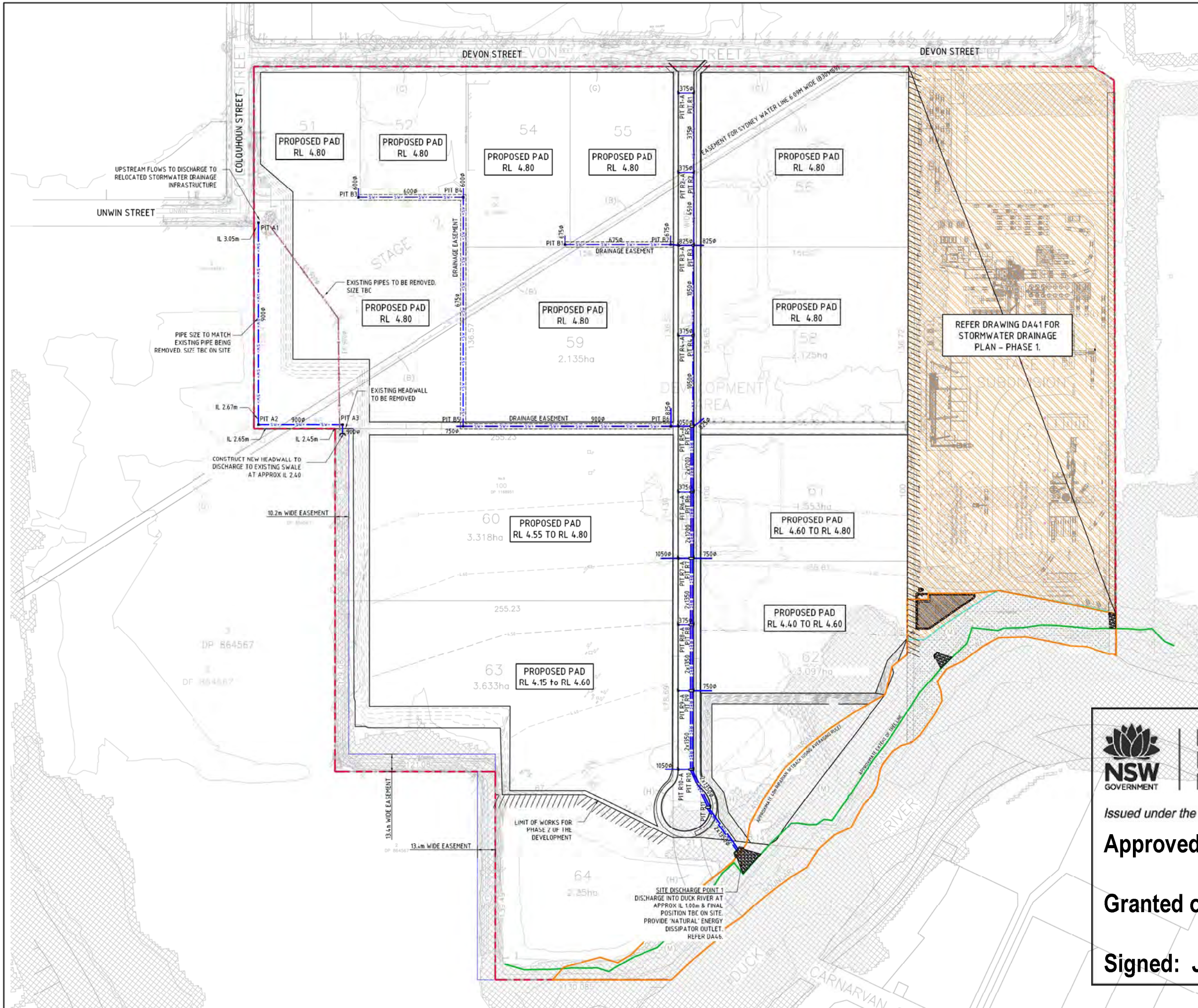


LEGEND:
LEVELS DATUM IS AHD.

- - SINGLE GRATED GULLY PIT (SGGP)
- - SGGP WITH PIT INSERT OR SILT MESH
- GD, GRATED DRAIN (300W x 225D UNO)
- DP - ROOFWATER DOWNPIPE (INDICATIVE)
- ROOFWATER LINE
- DISH DRAIN
- PROPOSED DRAINAGE LINE
- EXISTING DRAINAGE LINE
- EXISTING DRAINAGE LINE TO BE REMOVED
- SUPER LOT BOUNDARY
- Q100 FLOOD EXTENT
- APPROXIMATE EXTENT OF TREE LINE
- RIPARIAN SETBACK

LEVELS NOTE:
LEVELS TO BE ±500mm FROM THOSE SHOWN. FINAL LEVELS SUBJECT TO MINOR VARIATIONS TO SWIT DETAILED DESIGN.





LEGEND:
LEVELS DATUM IS AHD.

EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY INFORMATION PROVIDED BY LANDPARTNERS TITLED AS0205 Clyde_BE_210620 TIN DATED 08/07/20.

- SINGLE GRATED GULLY PIT (SGGP)
- PROPOSED DRAINAGE LINE
- EXISTING DRAINAGE LINE
- EXISTING DRAINAGE LINE TO BE REMOVED
- SUPER LOT BOUNDARY
- Ø100 FLOOD EXTENT
- APPROXIMATE EXTENT OF TREE LINE
- RIPARIAN SETBACK

PIT SCHEDULE

PIT No.	GRATE RL	TYPE	SIZE	COMMENT
PIT A1	4.60	S.G.G.P.	1200x1200	
PIT A2	4.50	S.G.G.P.	1200x1200	
PIT A3	4.15	S.G.G.P.	1200x1200	
PIT B1	4.80	S.G.G.P.	1200x1200	
PIT B2	4.80	S.G.G.P.	1200x1200	
PIT B3	4.80	S.G.G.P.	1200x1200	
PIT B4	4.80	S.G.G.P.	1200x1200	
PIT B5	4.80	S.G.G.P.	1200x1200	
PIT B6	4.80	S.G.G.P.	1500x1500	
PIT R1	4.19	K.I.P.	900x900	
PIT R1-A	4.19	K.I.P.	900x900	
PIT R2	4.17	K.I.P.	900x900	
PIT R2-A	4.17	K.I.P.	900x900	
PIT R3	4.15	K.I.P.	1500x1500	
PIT R3-A	4.15	K.I.P.	1200x1200	
PIT R4	4.13	K.I.P.	1500x1500	
PIT R4-A	4.13	K.I.P.	900x900	
PIT R5	4.10	K.I.P.	3000x1500	
PIT R5-A	4.10	K.I.P.	1500x900	
PIT R6	4.07	K.I.P.	3000x900	
PIT R6-A	4.07	K.I.P.	900x900	
PIT R7	4.05	K.I.P.	3600x1500	
PIT R7-A	4.05	K.I.P.	1500x900	
PIT R8	4.03	K.I.P.	3600x1200	
PIT R8-A	4.03	K.I.P.	900x900	
PIT R9	4.00	K.I.P.	3600x1500	
PIT R9-A	4.00	K.I.P.	900x900	
PIT R10	3.96	K.I.P.	3600x1500	
PIT R10-A	3.96	K.I.P.	1500x900	
PIT R11	3.92	K.I.P.	3600x1500	

STORMWATER DRAINAGE NOTES:
REFER TO DA10 FOR STORMWATER NOTES.

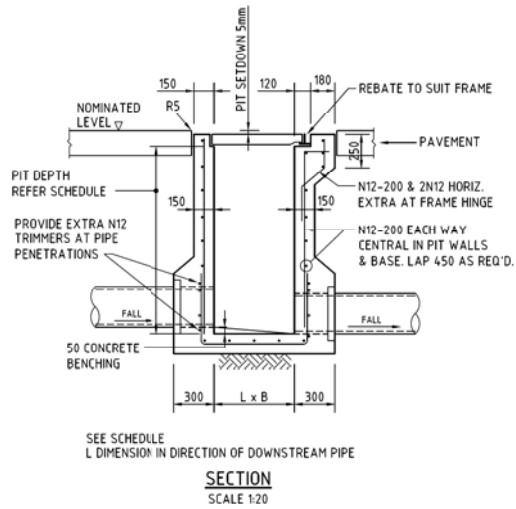
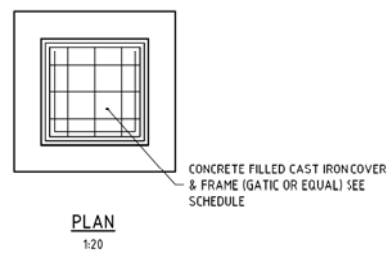
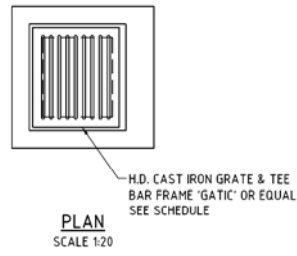
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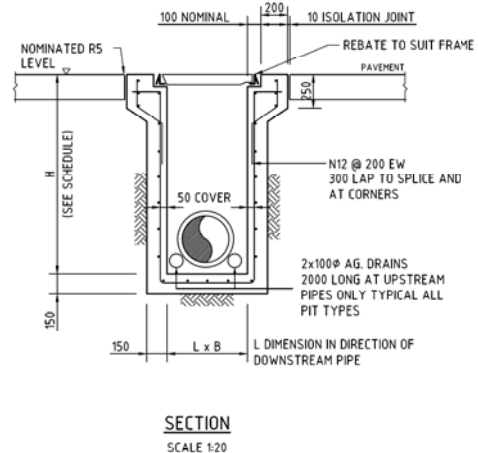
Approved Application No: SSD-10459

Granted on: 31 January 2021

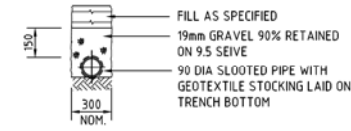
Signed: JF Sheet No: 15 of 44



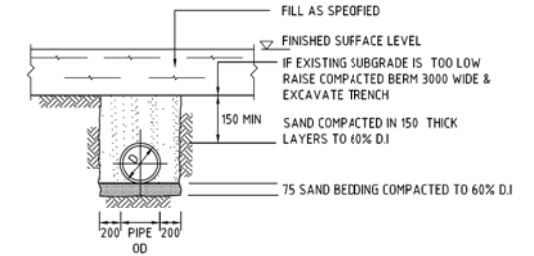
SINGLE GRATED GULLY PIT - SGGP



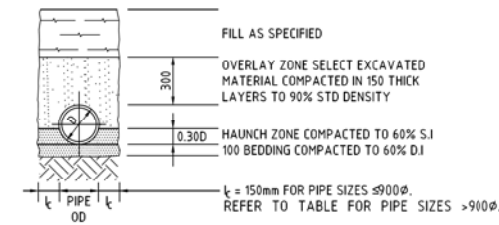
SEALED JUNCTION PIT - SJP



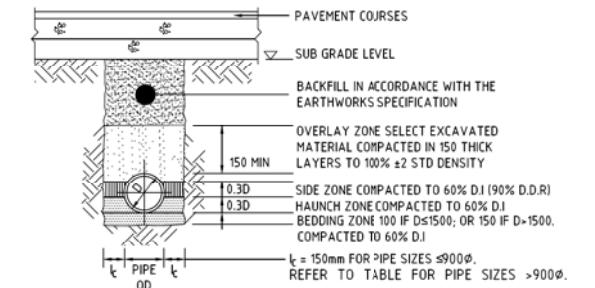
SUPPORT TO AG DRAIN



SUPPORT TO uPVC PIPES



TYPE H1 SUPPORT TO CONCRETE PIPES AT LANDSCAPED AREAS



TYPE HS2 SUPPORT TO CONCRETE PIPES UNDER PAVEMENT

US 1350, MAX FILL = 4.0m
D> 1350, MAX FILL = 3.0m

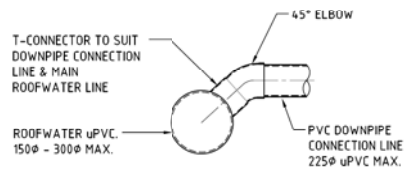
BEDDING & HAUNCH MATERIAL GRADING	
SIEVE SIZE	WEIGHT PASSING(%)
19	100
2.36	100 TO 50
0.60	90 TO 20
0.30	60 TO 10
0.15	25 TO 0
0.075	10 TO 0

SIDE ZONE MATERIAL GRADING	
SIEVE SIZE	WEIGHT PASSING(%)
75	100
9.5	100 TO 50
2.36	100 TO 30
0.60	50 TO 15
0.075	25 TO 0

SELECT FILL MATERIAL IN ACCORDANCE WITH TABLE 1 AS 3125

SIDE ZONE WIDTH	
PIPE SIZE	L _c (mm)
$\le 900\phi$	150
1050ϕ	175
1200ϕ	200
1350ϕ	225
1500ϕ	250
1650ϕ	275
1800ϕ	300

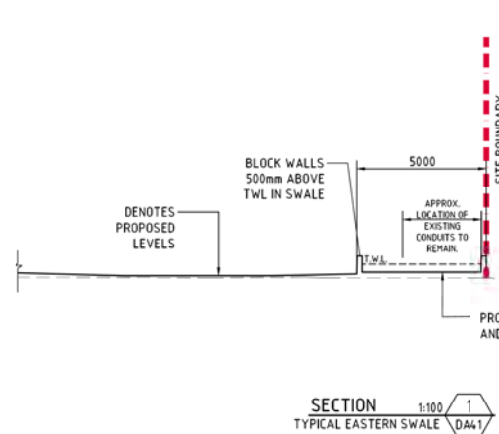
REFER TO ENGINEER FOR TRENCH WIDTHS FOR PIPE SIZES GREATER THAN 1800ϕ



DOWN PIPE CONNECTION TO uPVC PIPE

- PROPRIETARY T-PIECE CONNECTORS SHALL BE USED TO WHERE DIRECT CONNECTIONS ARE REQUIRED TO uPVC PIPES.
- ALL JOINTS TO BE SEALED WITH SOLVENT WELDED JOINTS.
- THE PVC PIPE SHALL NOT PROTRUDE BEYOND THE INNER SURFACE OF THE STORMWATER PIPE.

DOWNPIPE CONNECTION DETAILS
SCALE 1:20



SECTION 1:100
TYPICAL EASTERN SWALE DA41



Planning, Industry & Environment

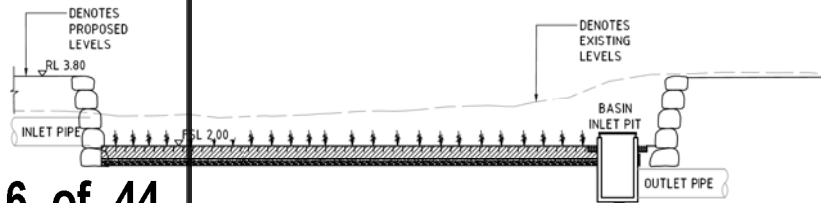
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PIPE LAYING DETAILS
SCALE 1:20

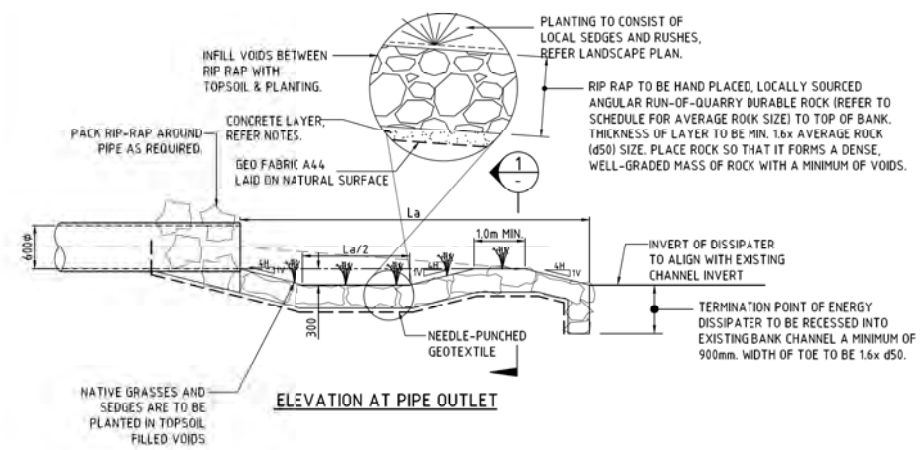
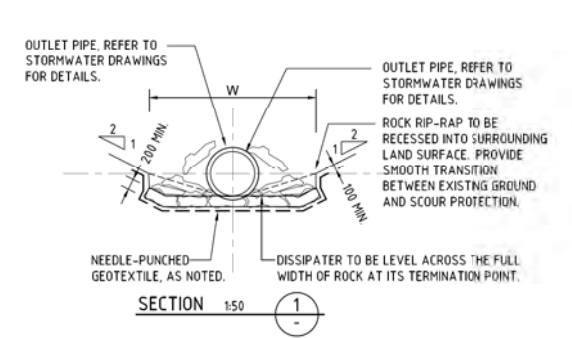
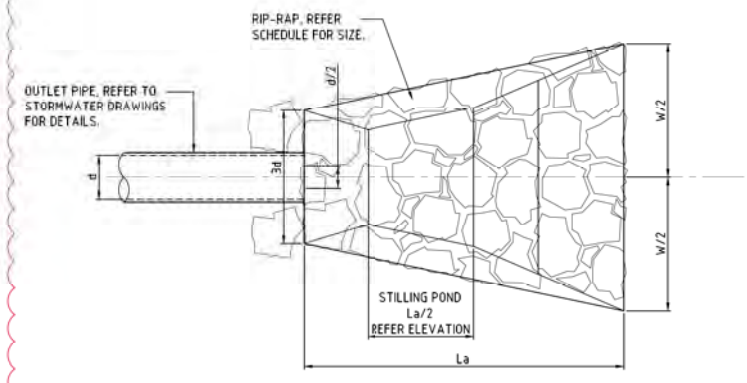


SECTION 1:100
BIO-RETENTION BASIN DA41



FOR INFORMATION

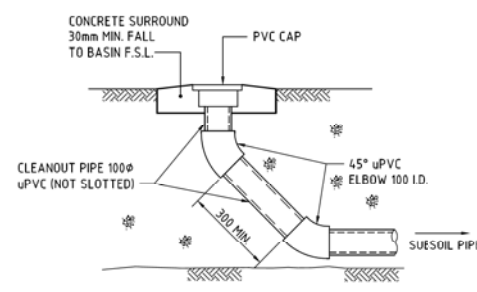
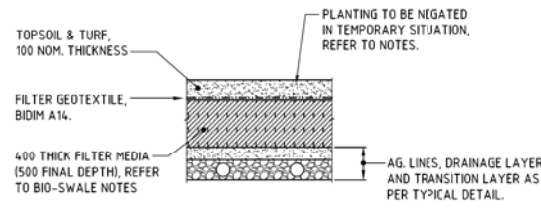
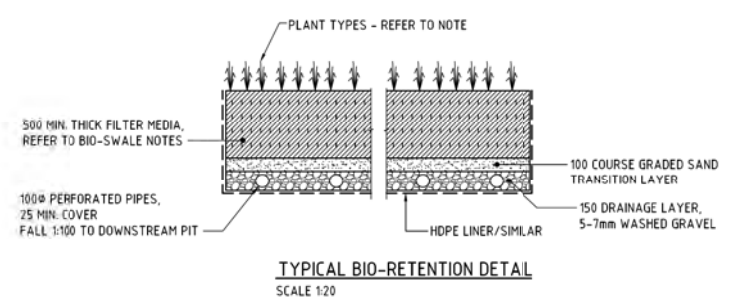
ISSUED FOR INFORMATION	12.08.20	B	ARCHITECT	CLIENT	PROJECT	DESIGNED	DRAWN	CHECKED	DATE	SCALE	CAD REF.	Costin Roe Consulting Pty Ltd. Consulting Engineers Level 1, 4 Macquarie Street Wahli Bay, Sydney NSW 2000 Tel: (61) 02-923-1088 Fax: (61) 02-923-0752 email: costin@costinroe.com.au	Costin Roe Consulting	DRAWING TITLE	CONCEPT STORMWATER DRAINAGE DETAILS - SHEET 1
ISSUED FOR INFORMATION	21.07.20	A			SUSTAINABLE ROAD RESOURCE CENTRE (PHASE 1) 9 DEVON STREET, CLYDE NSW	XC	HL	RAY	20	A3	ED0519 B&A		PRECISION COMMUNICATION ACCOUNTABILITY	013919.01-DA45	B



- DISSIPATER NOTES:**
1. ALIGN STRUCTURE EVENLY WITH BANK.
 2. LOCATE STRUCTURE AT INVERT LEVEL OF STREAM AND POINT IN A DOWNSTREAM DIRECTION.
 3. PIPE TO REST ON, AND BE PACKED IN, BY RIP-RAP (SIZE AS NOTED) DISCHARGE INTO STREAM WHERE BEDROCK IS PRESENT. OTHERWISE SCOUR PROTECT AS REQUIRED.
 4. SCOUR PROTECT THE OPPOSITE BANK AS REQUIRED. SCOUR PROTECTION TO BE PROVIDED WHERE OPPOSITE BANK IS WITHIN 12-14 TIMES THE PIPE DIAMETER.
 5. RIP-RAP TO CONSIST OF ANGULAR RUN-OF-QUARRY ROCK (d50 = 150mm MINIMUM) AS NOTED IN THE SCHEDULE RIP-RAP TO BE MINIMUM THICKNESS OF RIP-RAP LAYER TO BE 1.6x AVERAGE ROCK SIZE (d50). RIP-RAP IS TO BE PLACED OVER A 200mm LAYER OF MASS CONCRETE OVER NEEDLE-PUNCHED GEOFAB A44.
 6. PLACE ROCK SO THAT IT FORMS A DENSE, WELL-GRADED MASS OF ROCK WITH A MINIMUM OF VOIDS. THE FINISHED RIP-RAP SURFACE SHOULD BE FREE OF POCKETS OF SMALL ROCK OR CLUSTERS OF LARGE ROCKS.
 7. GAPS IN RIP-RAP TO BE HAND PACKED WITH TOPSOIL & PLANTED WITH NATIVE SEDGES & RUSHES TO PROVIDE. THE INTENT IS FOR THERE TO BE NO VOIDS BETWEEN RIP-RAP BOULDERS.
 8. ENSURE THE FINISHED ROCK SURFACE BLENDS WITH THE SURROUNDING GROUND LEVELS. NO OVERFALL OR PROTRUSION OF ROCK SHOULD BE APPARENT.
 9. ENSURE THAT STORMWATER FROM SURROUNDING GROUND IS FREE TO ENTER THE STRUCTURE WITHOUT CAUSING UNDESIRABLE PONDING OR SCOUR.

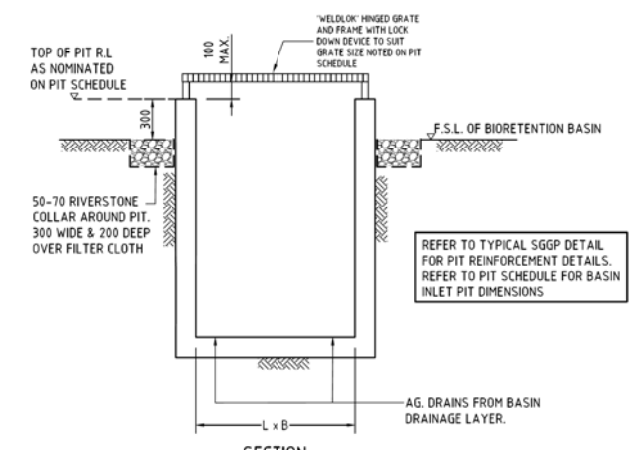
OUTLET	PIPE Ø	La	W	d ₅₀	Q ₁		Q ₂₀	
					FLOW	VELOCITY	FLOW	VELOCITY
OUTLET 1 (DOWNER)	1050Ø	10m	12m	0.8m	0.86m ³ /s	0.30m/s	1.90m ³ /s	0.50m/s
OUTLET 2 (ESTATE)	2x1350Ø	15m	20m	1.0m	2.73m ³ /s	0.40m/s	6.18m ³ /s	0.60m/s

OUTLET STRUCTURES
SCALE 1:50



BIORETENTION CLEANOUT EYE ELEVATION
SCALE 1:20
DENOTED C.E. ON PLAN

BIO-RETENTION BASIN DETAILS



BASIN INLET PIT - BIP
SCALE 1:20

BIO-RETENTION NOTES :

FILTER MEDIA TO BE LOAMY SAND WITH A PERMEABILITY NOT LESS THAN 700mm/hr. FILTER MEDIA TO BE FREE OF RUBBISH, DELETERIOUS MATERIAL, TOXICANTS, DECLARED PLANTS AND LOCAL WEEDS, AND IS TO NOT BE HYDROPHOBIC.

FILTER MEDIA TO HAVE THE FOLLOWING COMPOSITION RANGE:

CLAY & SILT (<0.075mm)	-3%
VERY FINE SAND (0.075-0.15mm)	5-30%
FINE SAND (0.15-0.25mm)	10-30%
MEDIUM TO COARSE SAND (0.25-1.00mm)	40-60%
COARSE SAND (1.0-2.0mm)	7-10%
FINE GRAVEL (2.0-3.4mm)	-3%

FILTER MEDIA THAT DOES NOT MEET THE FOLLOWING CRITERIA SHALL BE REJECTED:

- ORGANIC MATTER CONTENT TO BE IDEALLY WITHIN 1% TO 3% (W/W) AND TO BE NO GREATER THAN 5% (W/W).
- PH TO BE BETWEEN 5.5 AND 7.5
- PHOSPHOROUS CONTENT TO BE NO GREATER THAN 35mg/kg

FILTER MEDIA TO BE ASSESSED BY QUALIFIED HORTICULTURALIST TO ENSURE CAPABILITY OF SUPPORTING PLANT LIFE.

DRAINAGE LAYER TO BE CLEAN GRAVEL 5-7mm.

PLANTS TO BE IN ACCORDANCE WITH PARRAMATTA CITY COUNCIL.

PROVIDE 100mm TOPSOIL AND TEMPORARY EROSION PROTECTION (JUTEMASTER OR EQUIV) TO SWALE BATTER SLOPES AND ADJACENT LANDSCAPED AREAS. NOTE THAT NO TOPSOIL IS TO BE PLACED OVER FILTRATION MEDIA. PROVIDE SILT FENCE TO TOP OF BANK UNTIL SUCH TIME AS THIS STABILISING AND VEGETATION HAS BEEN COMPLETED.

BIO-RETENTION TO BE PARTIALLY INSTALLED, FOLLOWING COMPLETION OF THE ROAD, WITH THE TOP 75-100mm OF FILTER MEDIA REPLACED WITH A FINE TO COARSE SAND UNDERLAIN WITH A GEOTEXTILE LAYER (REFER TO DETAIL). FOLLOWING COMPLETION OF THE UPSTREAM DEVELOPMENT AND SITE STABILISATION, THE SAND IS TO BE REMOVED, REPLACED WITH FILTER MATERIAL AND PLANTED OUT. REFER TO TEMPORARY BIO-BASIN DETAIL.

PRIOR TO PLANTING, THE TOP 100mm OF THE BIORETENTION FILTER MEDIA IS TO BE AMELIORATED WITH APPROPRIATE ORGANIC MATTER, FERTILISER AND TRACE ELEMENTS TO AID PLANT ESTABLISHMENT AS PER THE TABLE BELOW:

TABLE: RECIPE FOR AMELIORATING TOP 100mm OF BIORETENTION FILTER MEDIA	
COST/TYPICAL QUANTITY	QUANTITY (SQM OF FILTER AREA)
GRANULATED POLYETHYLENE FINES	50
SUPERPHOSPHATE	2
MAGNESIUM SULPHATE	2
POTASSIUM SULPHATE	2
TRACE ELEMENT MIX	1
FERTILISER (NPK 4:1:1)	4
LIME	20

Planning, Industry & Environment

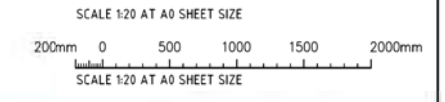
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-10459

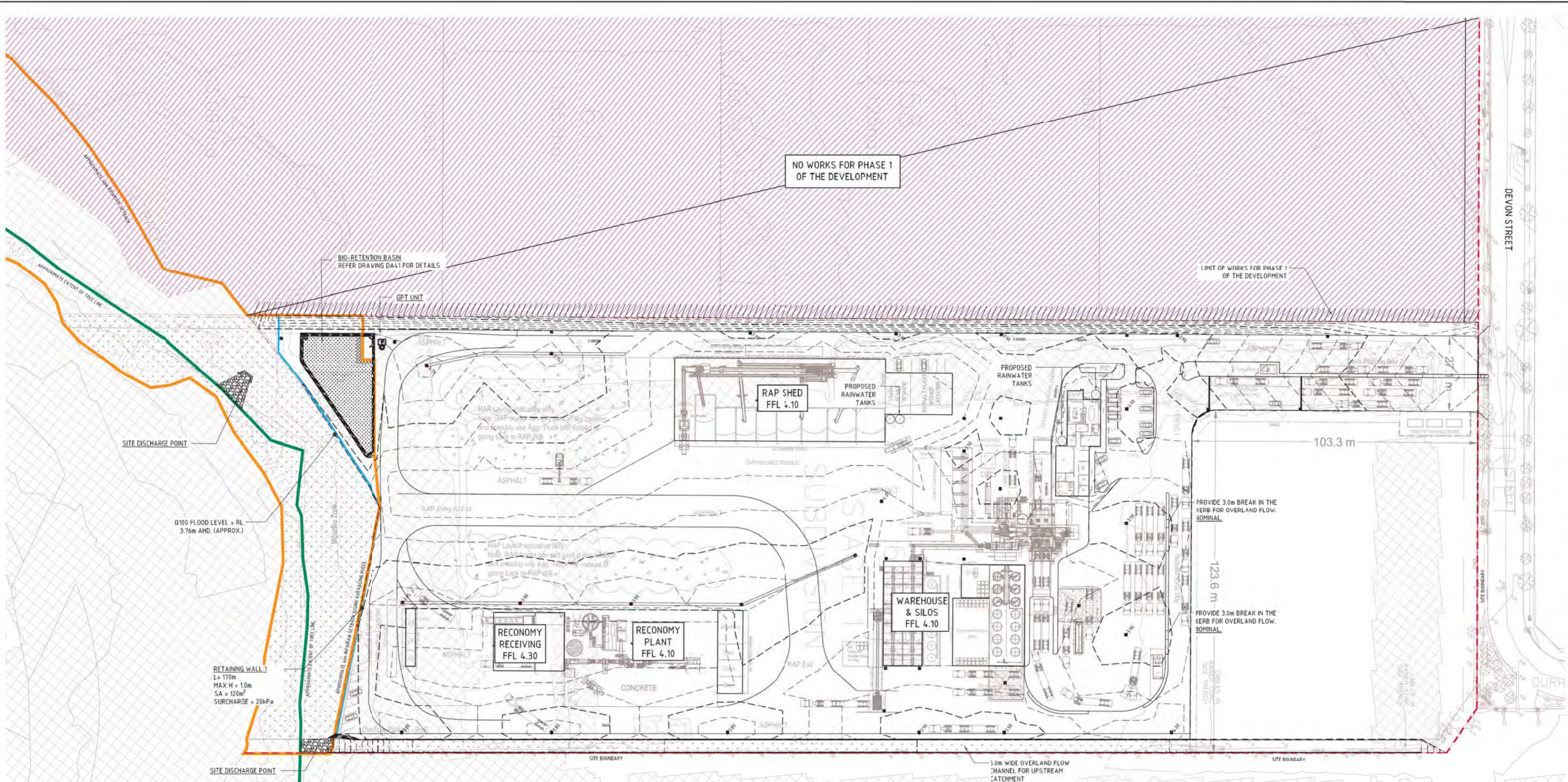
Granted on: 31 January 2021

Signed: JF Sheet No: 17 of 44

FOR INFORMATION



DESIGNED: JC	DRAWN: MJ	DATE: MAY 20	CHECKED: JC	DATE: AS SHOWN	SCALE: AS SHOWN	CAD REF: E03919.01-DATA	PROJECT: SUSTAINABLE ROAD RESOURCE CENTRE (PHASE 1) 9 DEVON STREET, CLYDE NSW	CLIENT: Costin Roe Consulting Pty Ltd. Consulting Engineers 1 Level 1, 9 Macquarie Street, Wollongong, Sydney NSW 2500 Tel: (02) 9225-1000 Fax: (02) 9225-0722 email: costin@costinroe.com.au	DRAWING TITLE: CONCEPT STORMWATER DRAINAGE DETAILS - SHEET 2	ISSUE: C
AMENDMENTS			AMENDMENTS			PRECISION COMMUNICATION ACCOUNTABILITY			PROJECT NO: C013919.01-DA46	ISSUE: C

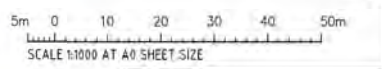


CONCEPT FINISHED LEVELS PLAN - PHASE 1
SCALE 1:500

LEGEND:
LEVELS DATUM IS AHD.

EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY INFORMATION PROVIDED BY LANDPARTNERS TITLED AS0205 Clyde_BE_200620 TIN DATED 08/07/20.

- - - - - DESIGN CONTOUR (MAJOR 0.5m)
- - - - - DESIGN CONTOUR (MINOR 0.1m)
- - - - - EXISTING CONTOUR (0.25m INTERVALS)
- - SINGLE GRATED GULLY PIT (SGGP)
- ▨ - Q100 FLOOD EXTENT
- - - - - APPROXIMATE EXTENT OF TREE LINE
- - - - - RIPARIAN SETBACK



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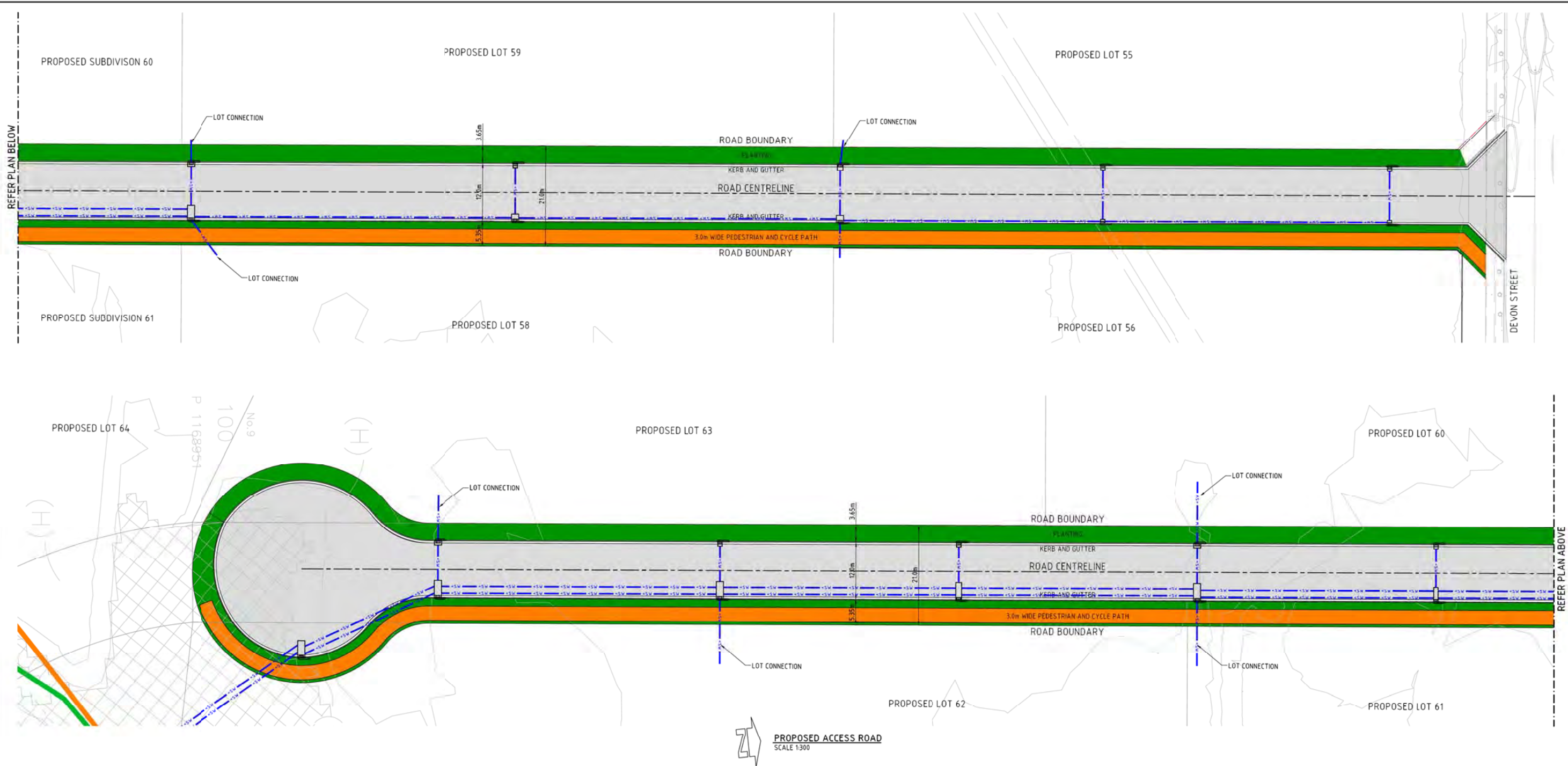
Approved Application No: SSD-10459

Granted on: 31 January 2021

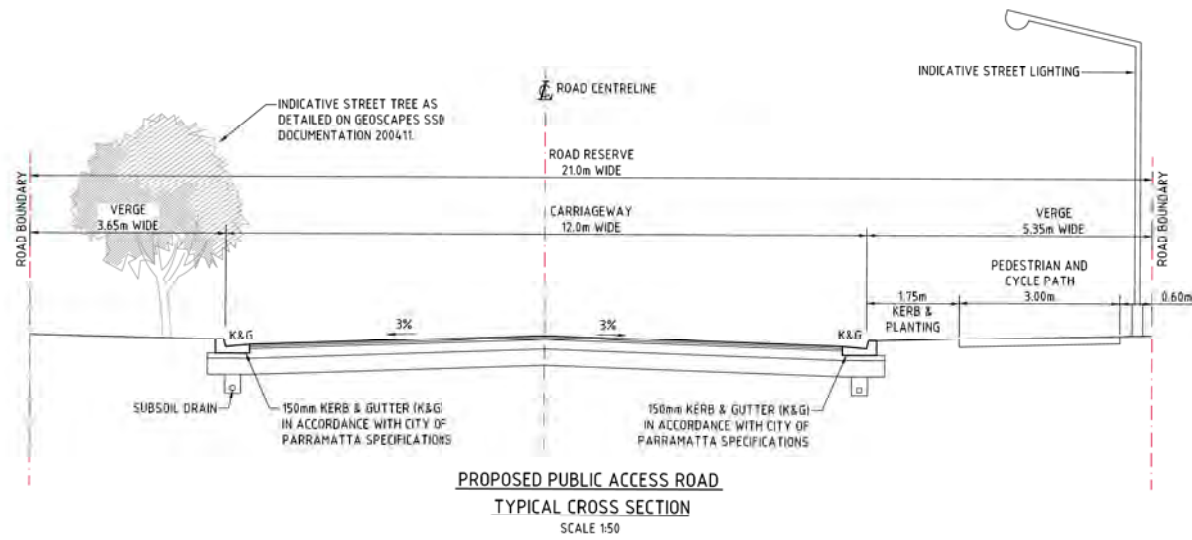
Signed: JF Sheet No: 18 of 44

FOR INFORMATION

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REVISED PER NEW SITE PLAN	30.11.20	E																																																							
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Granted on: 31 January 2021
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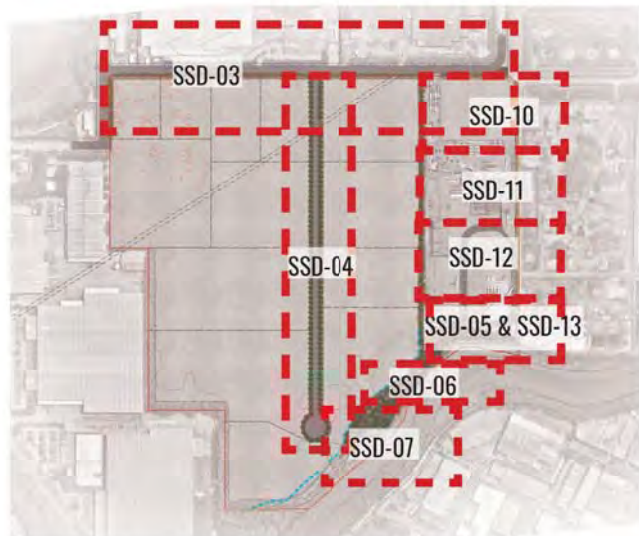
DESIGNED: [] DRAWN: [] CHECKED: [] DATE: [] SCALE: [] SHEET: []	PROJECT: SUSTAINABLE ROAD RESOURCE CENTRE (PHASE 1) 9 DEVON STREET, CLYDE NSW	ARCHITECT: CLIENT: CONSULTING ENGINEER: Costin Roe Consulting Pty Ltd Level 2, 6 Macquarie Street Wollongong, NSW 2500 Tel: (02) 9525-1000 Fax: (02) 9525-0752 email: info@costinroe.com.au	Costin Roe Consulting PRECISION COMMUNICATION ACCOUNTABILITY	DRAWING TITLE: PROPOSED PUBLIC ACCESS ROAD AND TYPICAL SECTION DRAWING NO.: C013919.01-DA60
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SSD - CENTRAL SYDNEY INDUSTRIAL ESTATE - 9 DEVON STREET, ROSEHILL, NSW 2142

Landscape Documentation for State Significant Development Application



 SUBDIVISION BOUNDARY
 EXTENT OF RIPARIAN WORKS
 EXTENT OF STAGE 1 (LOT 6) WORKS
 IMAGE TAKEN FROM NEARMAP 2020



 KEY PLAN - SHEET LAYOUTS
 SCALE 1:6000



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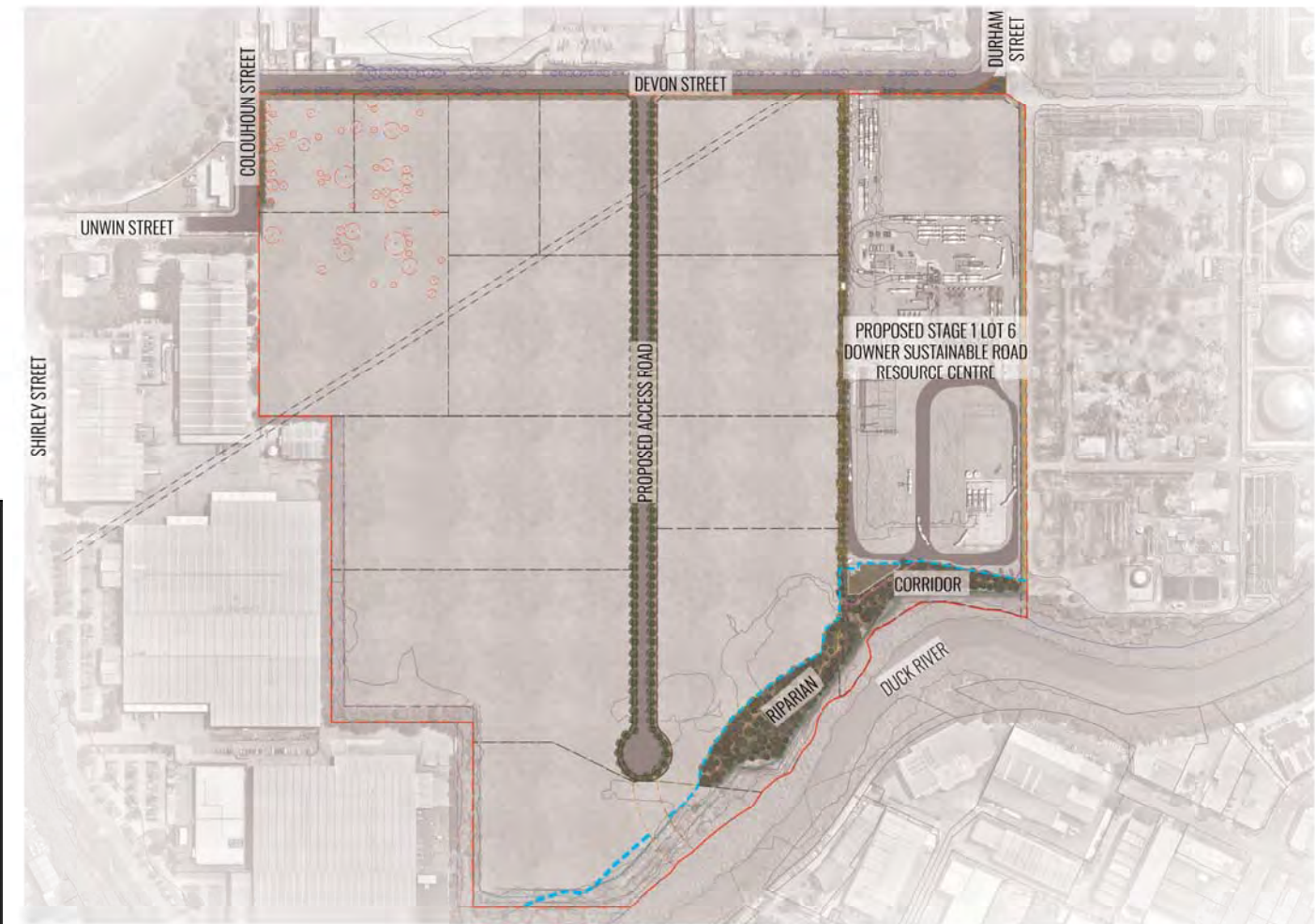
Approved Application No: SSD-10459

Granted on: 31 January 2021

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Drawing Register

Dwg No.	Drawing Name
SSD-00	Cover Sheet
SSD-01	Overall Master Plan
SSD-02	Temporary Erosion Control Plan
SSD-03	Streetscape Plan - Devon Street
SSD-04	Streetscape Plan - Proposed Access Road
SSD-05	Riparian Corridor Detail Plan - 1
SSD-06	Riparian Corridor Detail Plan - 2
SSD-07	Riparian Corridor Detail Plan - 3
SSD-08	Riparian Corridor Section A-A
SSD-09	Riparian Corridor Section B-B
SSD-10	Stage 1 Lot 6 (Downer) Detail Plan - 1
SSD-11	Stage 1 Lot 6 (Downer) Detail Plan - 2
SSD-12	Stage 1 Lot 6 (Downer) Detail Plan - 3
SSD-13	Stage 1 Lot 6 (Downer) Detail Plan - 4
SSD-14	Stage 1 Lot 6 (Downer) Section CC
SSD-15	Stage 1 Lot 6 (Downer) Section DD & EE
SSD-16	Specifications & Typical Details
SSD-17	Plant Schedules & Imagery



 SITE PLAN
 SCALE 1:3000

Drawing Title:
Cover Sheet
 DWG No:
SSD-00

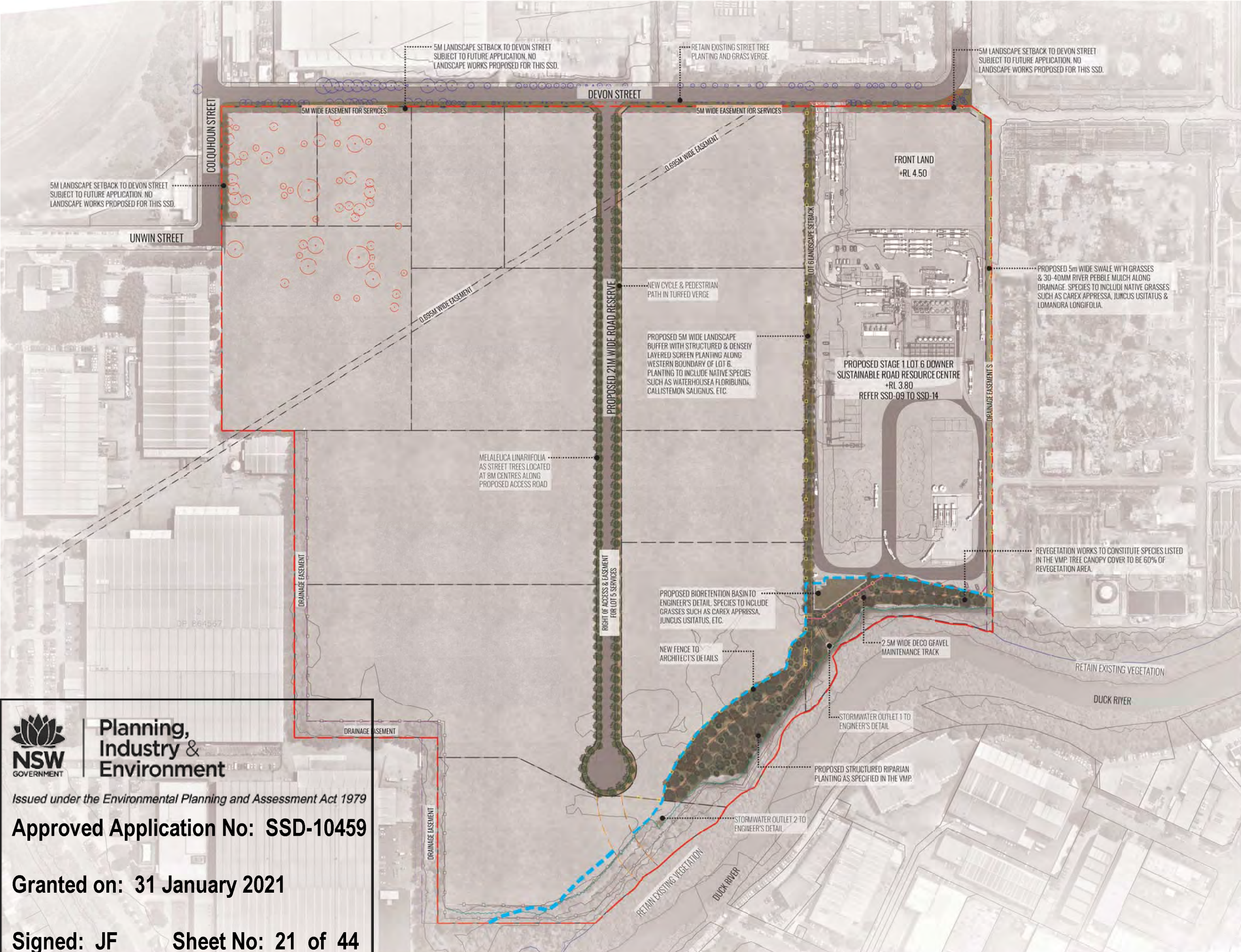
GEOSCAPES
 LANDSCAPE ARCHITECTS
 Suite 215, 284 Victoria Ave, Chatswood NSW 2067 Ph. (02) 9411 1485
 www.geoscapes.com.au
 ABN 84 620 205 781 ACN 620 205 781

Project Manager:

 Element Environment
 Pty. Ltd.

Client:
VE PROPERTY
 LEVEL 16, 720 BOURKE STREET
 DICKLANDS VIC 3008
 PF: (03) 8823 444

Scale:	Date:	Job Number:	North:	Revision		FOR SSD APPLICATION		
As shown @ A1	26.11.2020	200411		Rev	Date	Description	Drawn	Checked
Project: SSD - Central Syney Industrial Estate 9 Devon Street, Rosehill, NSW 2142				H	09.09.20	UPDATED FOR SSD	SB	BG
				I	11.09.20	UPDATED FOR SSD	SB	BG
				J	11.11.20	UPDATED FOR RTS	PT	BG
				K	26.11.20	UPDATED FOR RTS	PT	BG



LEGEND

- SITE BOUNDARY
- LOT BOUNDARIES
- EASEMENT TO DRAIN WATER. REFER TO SURVEY DRAWINGS.
- EASEMENT 6.095M WIDE FOR SYDNEY WATER. REFER TO SURVEY DRAWINGS.
- RIGHT OF ACCESS & EASEMENT FOR LOT 5 SERVICES. REFER TO SURVEY DRAWINGS.
- 5M WIDE EASEMENT FOR SERVICES. REFER TO SURVEY DRAWINGS.
- 5M WIDE LANDSCAPE SETBACK. REFER TO LOT 6 DETAIL PLANS SSD-09 TO SSD-12.
- EXISTING VEGETATION TO BE RETAINED.
- EXISTING VEGETATION TO BE REMOVED.
- PROPOSED TREES.
- PROPOSED MASS HEDGE PLANTING & SHRUBS.
- PROPOSED GROUNDCOVERS
- PROPOSED SWALE. REFER TO ENGINEER'S DRAWINGS.
- 40M AVERAGE RIPARIAN CORRIDOR. REFER TO VMP FOR DETAILS.
- MEAN HIGH WATER LEVEL OF DUCK RIVER. REFER TO CIVIL DRAWINGS.
- APPROXIMATE EXTENT OF EXISTING TREE CANOPY TO BE RETAINED
- NEW FENCE TO ARCHITECT'S DETAIL. REFER SSD-03 TO SSD-14 FOR DETAILS.
- EXISTING FENCE REFER TO CIVIL ENGINEER'S DRAWINGS
- PROPOSED SITE CONTOURS TO ENGINEER'S DETAILS
- DECO GRAVEL MAINTENANCE TRACK. REFER TO SSD-05 & SSD-06.
- HARDSTAND
- FOOTPATH & TURFED VERGE
- ROAD
- RETAINING WALL TO ENGINEER'S DETAIL. REFER TO CIVIL DRAWINGS.

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Approved Application No: SSD-10459

Granted on: 31 January 2021

Signed: JF **Sheet No: 21 of 44**

Drawing Title:
Overall Master Plan

DWG No:
SSD-01

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Project Manager:
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Client:
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LEVEL 16, 720 BOURKE STREET
DCKLANDS VIC 3008
Pf: (03) 8823 444

Scale: 1:1500 @ A1
1:3000 @ A3

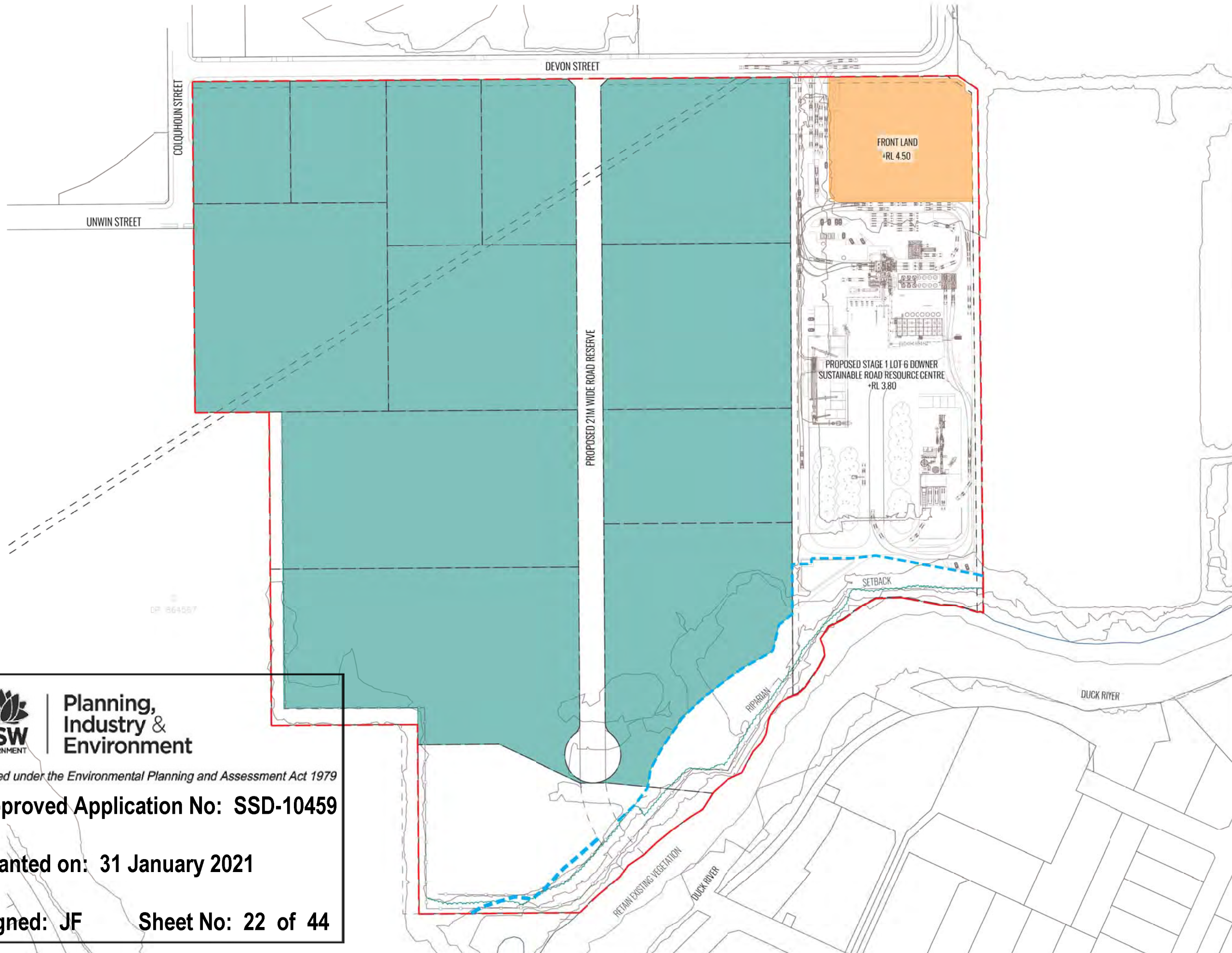
Date: 26.11.2020

Job Number: 200411

North:

Project: **SSD - Central Syney Industrial Estate**
9 Devon Street, Rosehill, NSW 2142

Revision			FOR SSD APPLICATION	
Rev	Date	Description	Drawn	Checked
H	09.09.20	UPDATED FOR SSD	SB	BG
I	11.09.20	UPDATED FOR SSD	SB	BG
J	11.11.20	UPDATED FOR RTS	PT	BG
K	26.11.20	UPDATED FOR RTS	PT	BG



LEGEND

- SITE BOUNDARY
- LOT BOUNDARY
- AREAS TO BE HYDROSEED OR SUBJECTED TO TACKIFIER FOR SOIL STABILISATION (23.25 ha). REFER TO CIVIL DRAWINGS.
- CONSTRUCTION STAGING AREA (1.2 ha). POST CONSTRUCTION TREATED WITH GRAVEL OR HYDROSEED FOR SHORT TERM PARKING AS REQUIRED. FUTURE USE SUBJECT TO FUTURE DA.
- APPROXIMATE EXTENT OF EXISTING TREE CANOPY TO BE RETAINED
- 40M AVERAGE RIPARIAN CORRIDOR EXTENT. REFER TO VMP FOR DETAILS.
- MEAN HIGH WATER LEVEL OF DUCK RIVER. REFER TO CIVIL DRAWINGS.
- EXISTING FENCE REFER TO CIVIL ENG'S DRAWINGS
- PROPOSED SITE CONTOURS. REFER TO CIVIL ENGINEER'S DRAWINGS.

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Approved Application No: SSD-10459

Granted on: 31 January 2021

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Drawing Title:
Temporary Erosion Control Plan

DWG No:
SSD-02

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Project Manager:
element Element Environment Pty. Ltd.

Client:
VE PROPERTY
LEVEL 16, 720 BOURKE STREET
DICKLANDS VIC 3008
PF: (03) 8823 444

Scale: 1:1500 @ A1
1:3000 @ A3

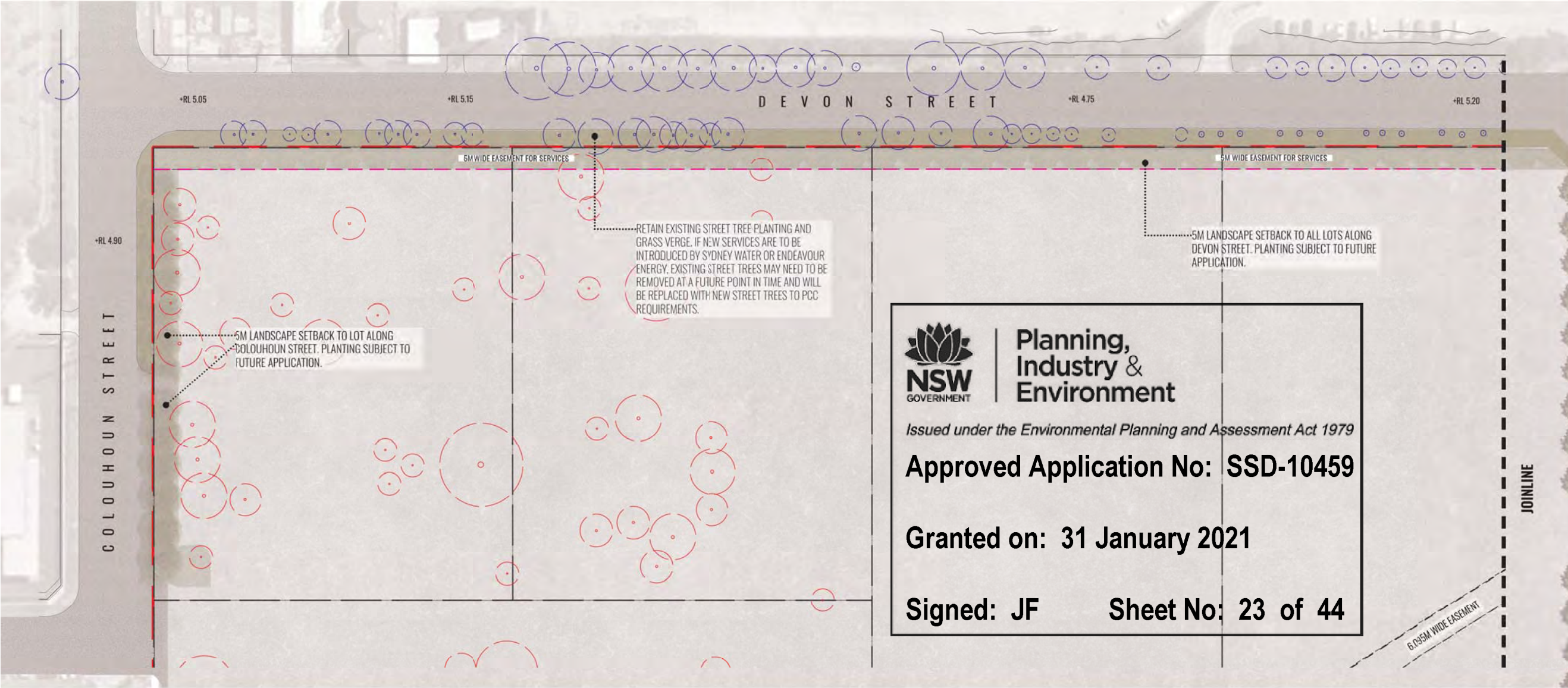
Date: 26.11.2020

Job Number: 200411


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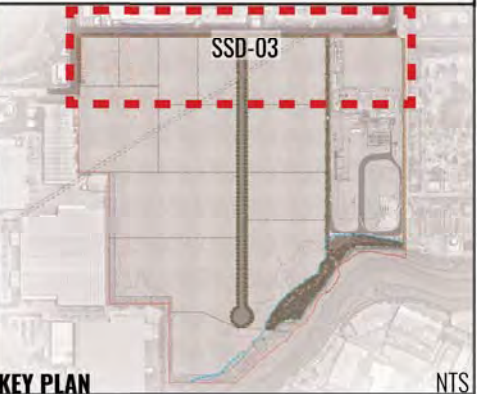
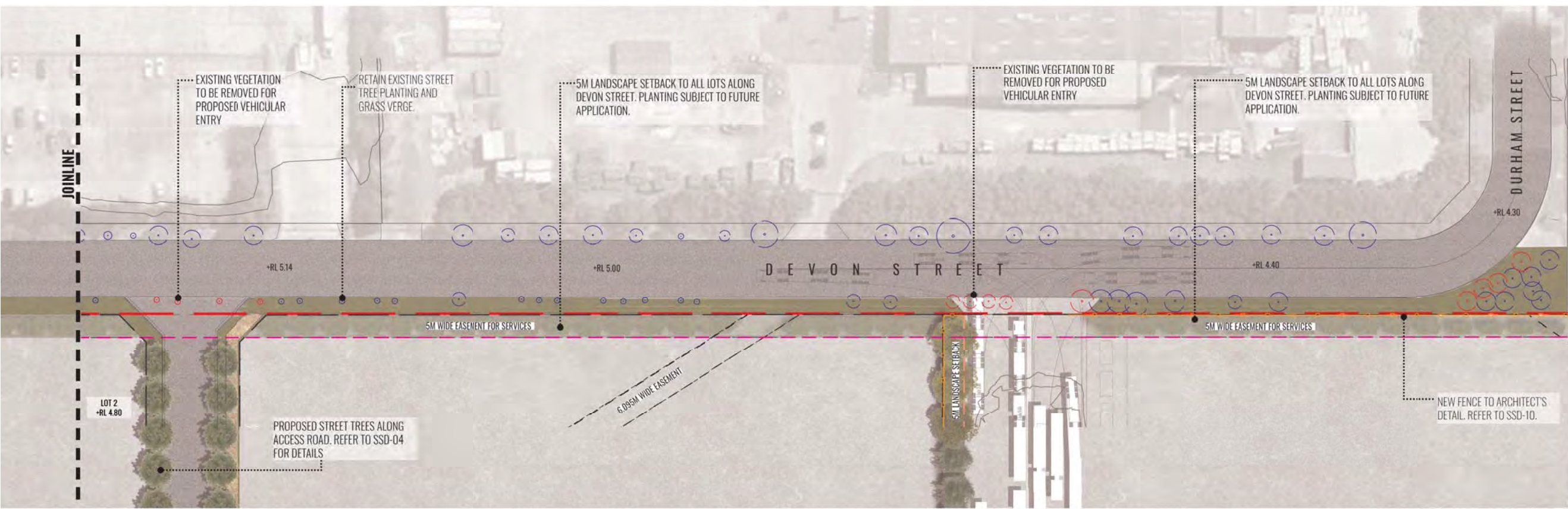
Project: **SSD - Central Syney Industrial Estate**
9 Devon Street, Rosehill, NSW 2142

Revision			FOR SSD APPLICATION	
Rev	Date	Description	Drawn	Checked
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I	11.09.20	UPDATED FOR SSD	SB	BG
J	11.11.20	UPDATED FOR RTS	PT	BG
K	26.11.20	UPDATED FOR RTS	PT	BG



- LEGEND**
- - - SITE BOUNDARY
 - - - LOT BOUNDARY
 - EXISTING VEGETATION TO BE RETAINED.
 - EXISTING VEGETATION TO BE REMOVED.
 - NEW 2.1M HIGH SECURITY FENCE TO ARCHITECT'S DETAIL. REFER TO SSD-09 TO SSD-12.
 - EXISTING TURFED VERGE TO BE RETAINED
 - EASEMENT 6.095M WIDE FOR SYDNEY WATER. REFER TO SURVEY DRAWINGS.
 - 5M WIDE EASEMENT FOR SERVICES. REFER TO SURVEY DRAWINGS.
 - 5M WIDE LANDSCAPE SETBACK. REFER TO DETAIL PLANS SSD-09 TP SSD-12.


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Approved Application No: SSD-10459
Granted on: 31 January 2021
Signed: JF Sheet No: 23 of 44



Drawing Title:
Streetscape Plan - Devon Street
 DWG No:
SSD-03

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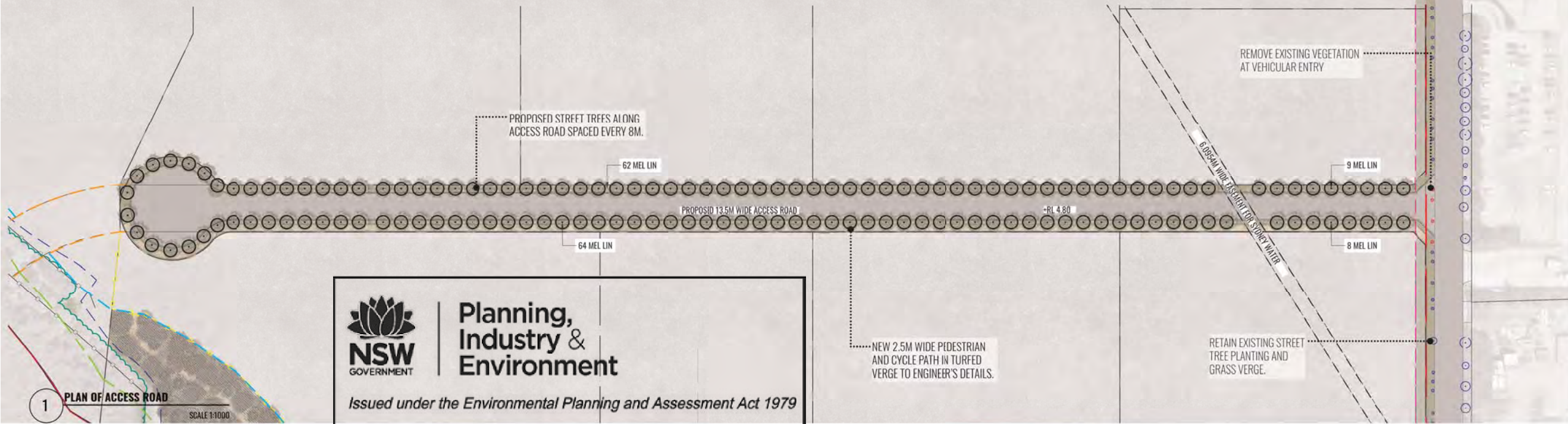
Project Manager:

Element Environment Pty. Ltd.

Client:
VE PROPERTY
 LEVEL 16, 720 BOURKE STREET
 DICKLANDS VIC 3008
 PF: (03) 8823 444

Scale: 1:500 @ A1, 1:1000 @ A3
 Date: 26.11.2020
 Job Number: 200411
 Project: **SSD - Central Syney Industrial Estate**
 9 Devon Street, Rosehill, NSW 2142

Revision			FOR SSD APPLICATION	
Rev	Date	Description	Drawn	Checked
H	09.09.20	UPDATED FOR SSD	SB	BG
I	11.09.20	UPDATED FOR SSD	SB	BG
J	11.11.20	UPDATED FOR RTS	PT	BG
K	26.11.20	UPDATED FOR RTS	PT	BG



LEGEND

- SITE BOUNDARY
- LOT BOUNDARIES
- EXISTING VEGETATION TO BE RETAINED.
- EXISTING VEGETATION TO BE REMOVED.
- PROPOSED STREET TREES AT 8M CENTRES ALONG ACCESS ROAD.
- NEW 3M WIDE FOOTPATH & CYCLE PATH IN TURFED VERGE. REFER TO DETAILS.
- PROPOSED 12M WIDE ACCESS ROAD
- EASEMENT 6.095M WIDE FOR SYDNEY WATER. REFER TO SURVEY DRAWINGS.
- RIGHT OF ACCESS & EASEMENT FOR LOT 5 SERVICES. REFER TO SURVEY DRAWINGS.
- 5M WIDE EASEMENT FOR SERVICES. REFER TO SURVEY DRAWINGS.
- SW PITS TO ENGINEER'S DETAILS

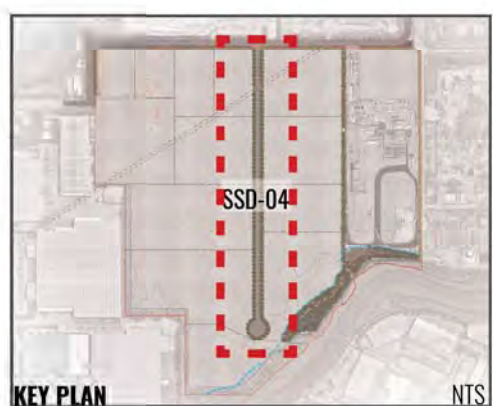
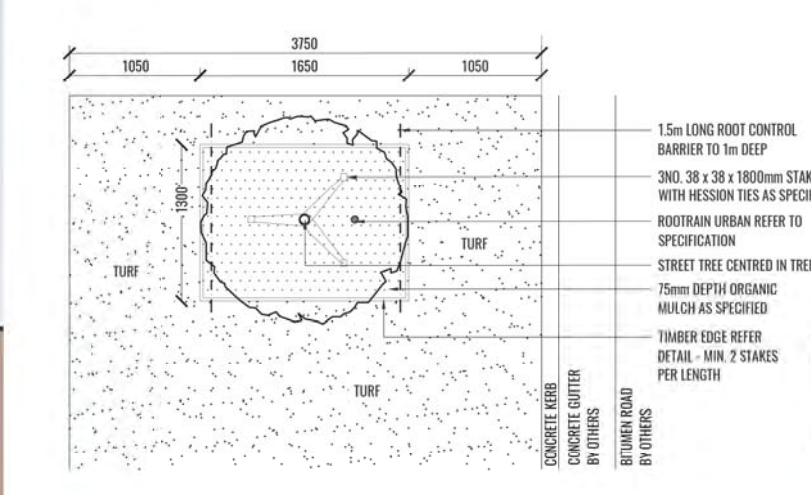
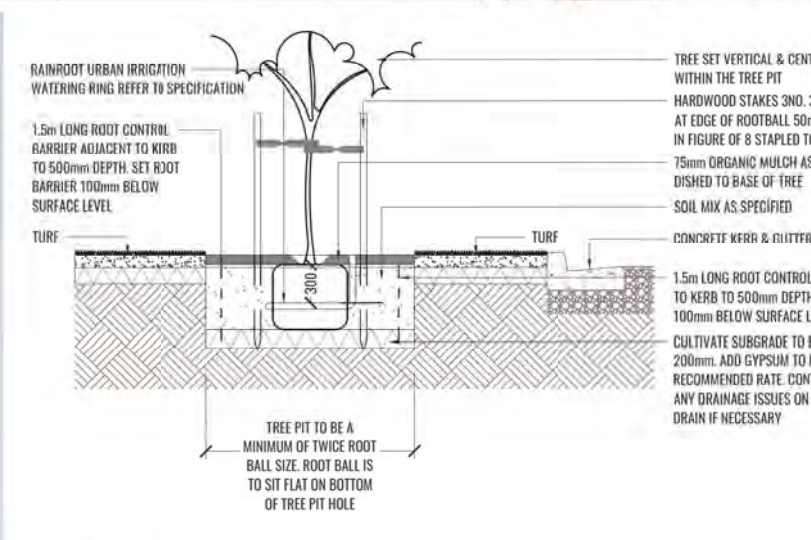
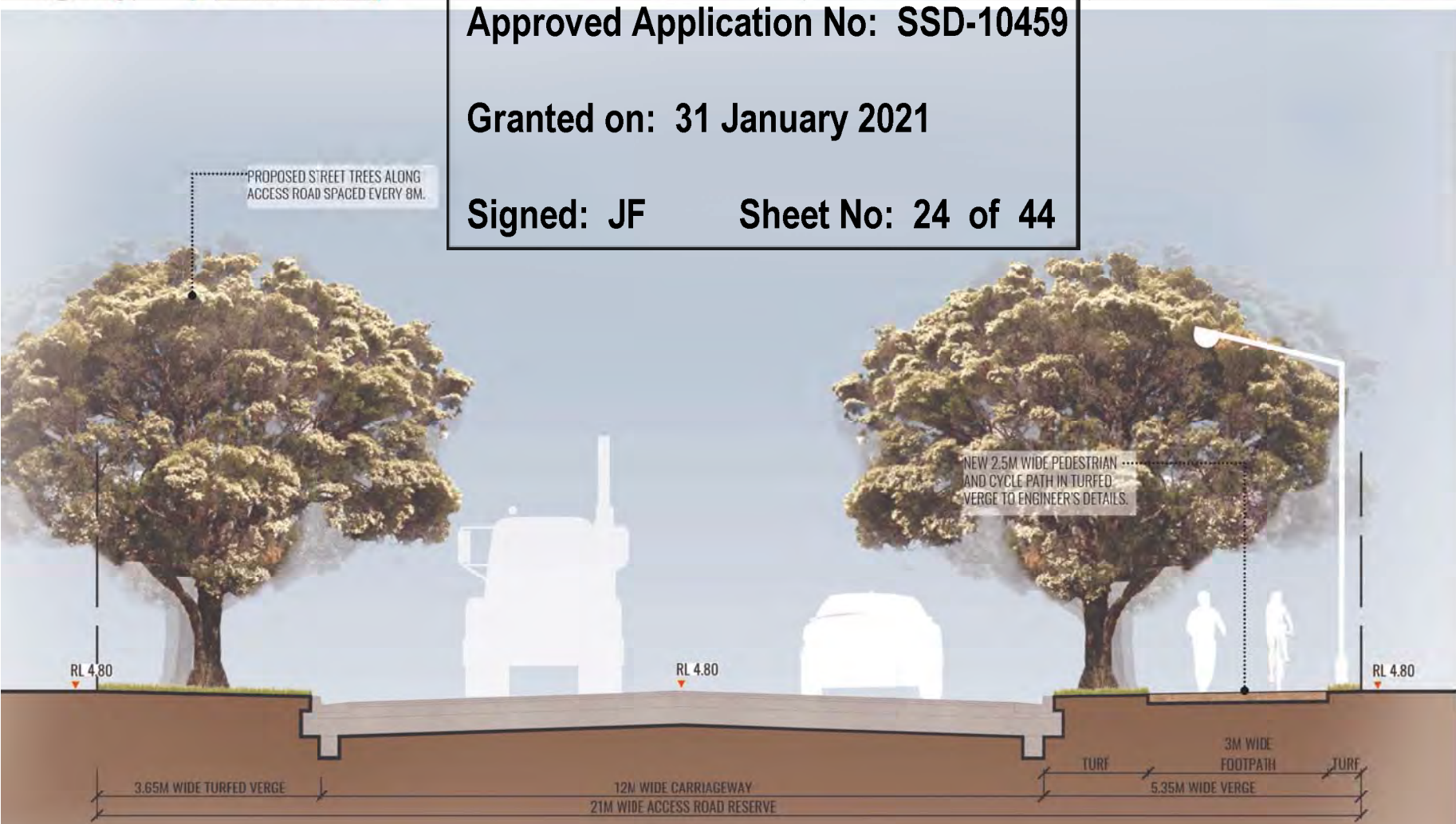
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2 TYPICAL SECTION
SCALE 1:50

3 TYPICAL STREET TREE PLANTING DETAIL
SCALE 1:30

Drawing Title:
Streetscape Plan - Proposed Access Road

DWG No:
SSD-04

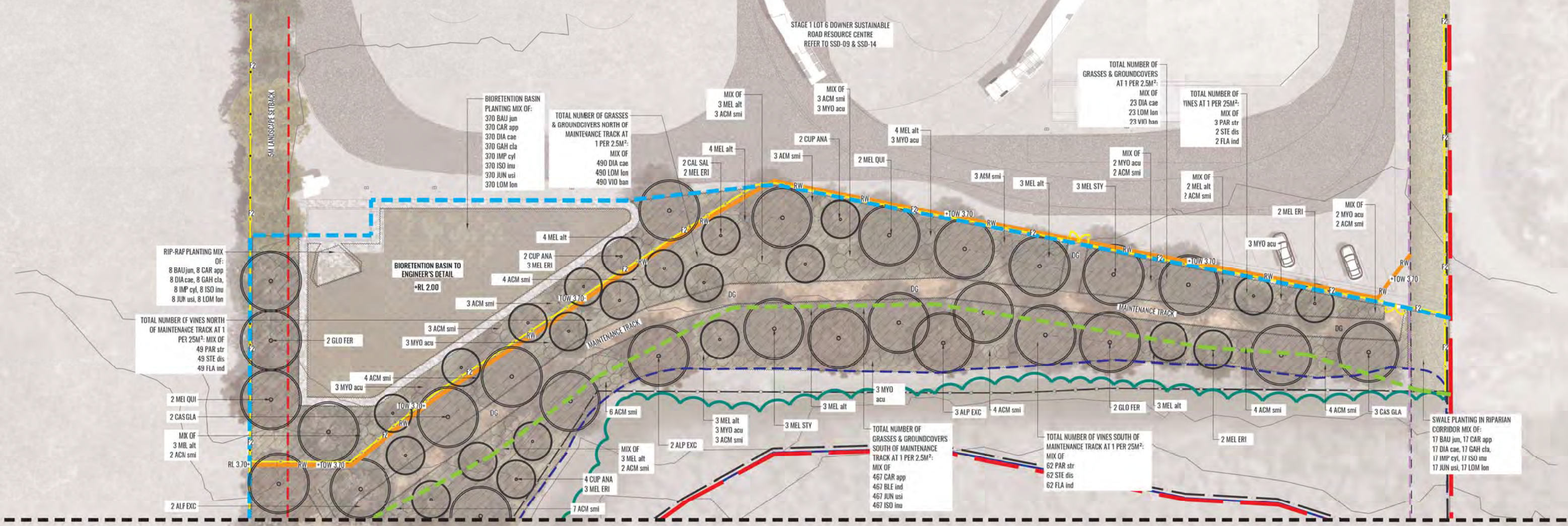
GEOSCAPES
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ABN 84 620 205 781 ACN 620 205 781

Project Manager:
element Element Environment Pty. Ltd.

Client:
VE PROPERTY
LEVEL 16, 720 BOURKE STREET
DICKLANDS VIC 3008
PF: (03) 8823 444

Scale: As shown @ A1			Date: 26.11.2020		Job Number: 200411		North:	
Project: SSD - Central Syney Industrial Estate 9 Devon Street, Rosehill, NSW 2142								
FOR SSD APPLICATION								
Rev	Date	Description	Drawn	Checked				
H	09.09.20	UPDATED FOR SSD	SB	BG				
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K	26.11.20	UPDATED FOR RTS	PT	BG				



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Granted on: 31 January 2021

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LEGEND

- SITE BOUNDARY
- MEAN HIGH WATER LEVEL OF DUCK RIVER. REFER TO CIVIL DRAWINGS.
- LOT BOUNDARIES
- NEW 1.8M HIGH BLACK MESH FENCE & MAINTENANCE ACCESS GATE TO SUIT DOWNER SITE FENCE. REFER SSD 08-SSD 12.
- EASEMENT TO DRAIN WATER. REFER TO SURVEY DRAWINGS.
- EXISTING FENCE. REFER TO CIVIL ENG'S DRAWINGS
- STORMWATER OUTLET WITH RIP-RAP PLANTING. REFER TO CIVIL ENGINEER'S DETAILS.
- 5M WIDE LANDSCAPE SETBACK.
- PROPOSED TREES.
- RETAINING WALL TO ENGINEER'S DETAIL. REFER TO CIVIL DRAWINGS.
- 20M RIPARIAN LINE
- PROPOSED SHRUBS. REFER TO PLANTING SCHEDULE.
- 40M AVERAGE RIPARIAN CORRIDOR EXTENT. REFER TO VMP FOR DETAILS.
- AREA FOR PROPOSED GROUNDCOVERS & VINES.
- EXTENT OF REVEGETATION AREA AS SPECIFIED IN THE VMP.
- 2.5M WIDE DECO GRAVEL MAINTENANCE TRACK
- EXTENT OF WEED MANAGEMENT AREA AS SPECIFIED IN THE VMP.
- PROPOSED SITE CONTOURS. REFER TO ENGINEER'S DETAILS
- APPROXIMATE EXTENT OF EXISTING TREE CANOPY TO BE RETAINED
- STRUCTURED RIPARIAN BUFFER PLANTING INCLUDING GROUNDCOVERS & VINES PLANTED THROUGHOUT.

KEY PLAN NTS

Drawing Title:
Riparian Corridor Detail Plan - 1

DWG No:
SSD-05

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Suite 215, 284 Victoria Ave, Chatswood NSW 2067 Ph. (02) 9411 1485
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Project Manager:
element Element Environment Pty. Ltd.

Client:
VE PROPERTY
LEVEL 16, 720 BOURKE STREET
DCKLANDS VIC 3008
PF: (03) 8823 444

Scale: 1:250 @ A1, 1:500 @ A3

Date: 26.11.2020

Job Number: 200411

North:

Project: **SSD - Central Syney Industrial Estate**
9 Devon Street, Rosehill, NSW 2142

Revision			FOR SSD APPLICATION	
Rev	Date	Description	Drawn	Checked
H	09.09.20	UPDATED FOR SSD	SB	BG
I	11.09.20	UPDATED FOR SSD	SB	BG
J	11.11.20	UPDATED FOR RTS	PT	BG
K	26.11.20	UPDATED FOR RTS	PT	BG

REFER TO SSD-05

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Approved Application No: SSD-10459

Granted on: 31 January 2021

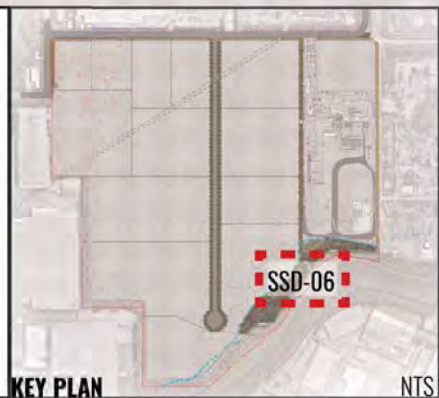
Signed: JF Sheet No: 26 of 44



REFER TO SSD-07

LEGEND

- SITE BOUNDARY
- MEAN HIGH WATER LEVEL OF DUCK RIVER. REFER TO CIVIL DRAWINGS.
- LOT BOUNDARIES
- NEW 1.8M HIGH BLACK MESH FENCE & MAINTENANCE ACCESS GATE TO SUIT DOWNER SITE FENCE. REFER SSD 08-SSD 12.
- EASEMENT TO DRAIN WATER. REFER TO SURVEY DRAWINGS.
- EXISTING FENCE. REFER TO CIVIL ENG'S DRAWINGS
- STORMWATER OUTLET WITH RIP-RAP PLANTING. REFER TO CIVIL ENGINEER'S DETAILS.
- 5M WIDE LANDSCAPE SETBACK.
- PROPOSED TREES.
- RETAINING WALL TO ENGINEER'S DETAIL. REFER TO CIVIL DRAWINGS.
- 20M RIPARIAN LINE
- PROPOSED SHRUBS. REFER TO PLANTING SCHEDULE.
- 40M AVERAGE RIPARIAN CORRIDOR EXTENT. REFER TO VMP FOR DETAILS.
- AREA FOR PROPOSED GROUNDCOVERS & VINES.
- 2.5M WIDE DECO GRAVEL MAINTENANCE TRACK
- EXTENT OF REVEGETATION AREA AS SPECIFIED IN THE VMP.
- EXTENT OF WEED MANAGEMENT AREA AS SPECIFIED IN THE VMP.
- PROPOSED SITE CONTOURS. REFER TO ENGINEER'S DETAILS
- APPROXIMATE EXTENT OF EXISTING TREE CANOPY TO BE RETAINED
- STRUCTURED RIPARIAN BUFFER PLANTING INCLUDING GROUNDCOVERS & VINES PLANTED THROUGHOUT.



Drawing Title:
Riparian Corridor Detail Plan - 2
 DWG No:
SSD-06

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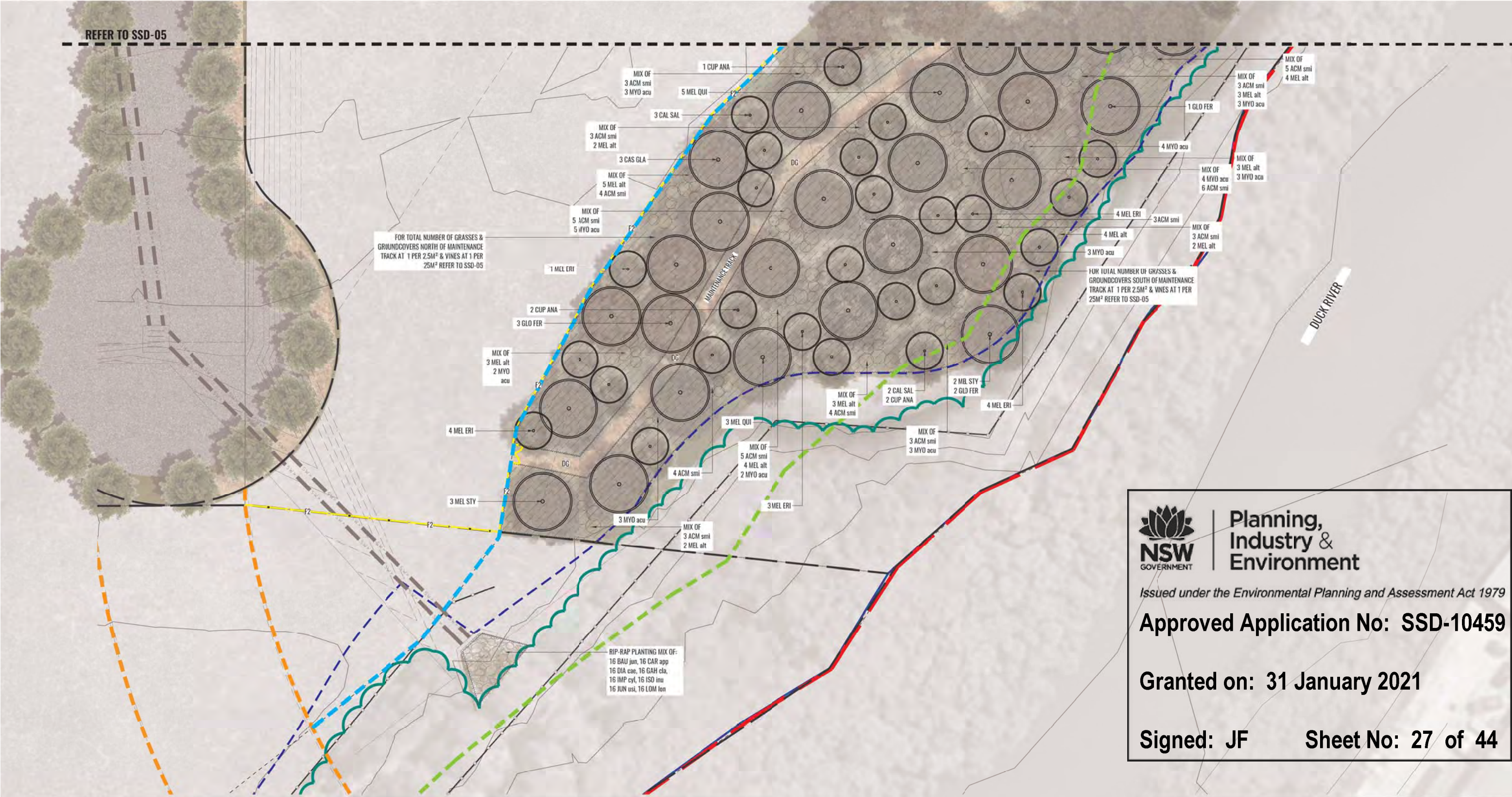
Project Manager:
 Element Environment Pty. Ltd.

Client:
VE PROPERTY
 LEVEL 16, 720 BOURKE STREET
 DCKLANDS VIC 3008
 PF: (03) 8823 444

Scale: 1:250 @ A1
 1:500 @ A3
 Date: 26.11.2020
 Job Number: 200411
 North:
 Project: **SSD - Central Syney Industrial Estate**
 9 Devon Street, Rosehill, NSW 2142

Revision			FOR SSD APPLICATION	
Rev	Date	Description	Drawn	Checked
H	09.09.20	UPDATED FOR SSD	SB	BG
I	11.09.20	UPDATED FOR SSD	SB	BG
J	11.11.20	UPDATED FOR RTS	PT	BG
K	26.11.20	UPDATED FOR RTS	PT	BG

REFER TO SSD-05



FOR TOTAL NUMBER OF GRASSES & GROUNDCOVERS NORTH OF MAINTENANCE TRACK AT 1 PER 2.5M² & VINES AT 1 PER 25M² REFER TO SSD-05

FOR TOTAL NUMBER OF GRASSES & GROUNDCOVERS SOUTH OF MAINTENANCE TRACK AT 1 PER 2.5M² & VINES AT 1 PER 25M² REFER TO SSD-05

RIP-RAP PLANTING MIX OF:
 16 BAU jun, 16 CAR app
 16 DIA cae, 16 GAH cta,
 16 IMP cyl, 16 ISO inu
 16 JUN usl, 16 LOM lon

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Approved Application No: SSD-10459

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LEGEND

- SITE BOUNDARY
- LOT BOUNDARIES
- EASEMENT TO DRAIN WATER. REFER TO SURVEY DRAWINGS.
- EXISTING FENCE REFER TO CIVIL ENG'S DRAWINGS
- STORMWATER OUTLET WITH RIP-RAP PLANTING. REFER TO CIVIL ENGINEER'S DETAILS.
- NEW 1.8M HIGH BLACK MESH FENCE & MAINTENANCE ACCESS GATE TO SUIT DOWNER SITE FENCE. REFER SSD 08-SSD 12.
- F2
- 5M WIDE LANDSCAPE SETBACK.
- PROPOSED TREES.
- RETAINING WALL TO ENGINEER'S DETAIL. REFER TO CIVIL DRAWINGS.
- 20M RIPARIAN LINE
- PROPOSED SHRUBS. REFER TO PLANTING SCHEDULE.
- 40M AVERAGE RIPARIAN CORRIDOR EXTENT. REFER TO VMP FOR DETAILS.
- AREA FOR PROPOSED GROUNDCOVERS & VINES.
- EXTENT OF REVEGETATION AREA AS SPECIFIED IN THE VMP.
- DC
- 2.5M WIDE DECO GRAVEL MAINTENANCE TRACK
- EXTENT OF WEED MANAGEMENT AREA AS SPECIFIED IN THE VMP.
- PROPOSED SITE CONTOURS REFER TO ENGINEER'S DETAILS
- APPROXIMATE EXTENT OF EXISTING TREE CANOPY TO BE RETAINED
- STRUCTURED RIPARIAN BUFFER PLANTING INCLUDING GROUNDCOVERS & VINES PLANTED THROUGHOUT.



Drawing Title:
Riparian Corridor Detail Plan - 3
 DWG No:
SSD-07

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Project Manager:
element Environment Pty. Ltd.

Client:
VE PROPERTY
 LEVEL 16, 720 BOURKE STREET
 DICKLANDS VIC 3008
 PF: (03) 8823 444

Scale: 1:250 @ A1, 1:500 @ A3
 Date: 26.11.2020
 Job Number: 200411
 Project: **SSD - Central Syney Industrial Estate**
 9 Devon Street, Rosehill, NSW 2142

Revision			FOR SSD APPLICATION	
Rev	Date	Description	Drawn	Checked
H	09.09.20	UPDATED FOR SSD	SB	BG
I	11.09.20	UPDATED FOR SSD	SB	BG
J	11.11.20	UPDATED FOR RTS	PT	BG
K	26.11.20	UPDATED FOR RTS	PT	BG



PROPOSED LOT 6 & SITE BOUNDARY

EXTENT OF EXISTING VEGETATION
EXTENT OF WEED MANAGEMENT AREA AS PER VMP

PROPOSED STRUCTURED RIPARIAN PLANTING AS SPECIFIED IN THE VMP WITH ADDITIONAL SUPPLEMENTARY PLANTING WITH SPECIES SUCH AS MELALEUCA QUINQUENERVIA

40M RIPARIAN SETBACK AVERAGE METHOD

PROPOSED UNDERSTORY PLANTING

PROPOSED GROUND COVER AND VINES PLANTED AT DENSITIES AS SPECIFIED IN THE VMP

1.8M HIGH BLACK MESH FENCE TO ARCHITECT'S DETAIL

RIP-RAP/SCOUR PROTECTION PLANTED WITH GRASSES. REFER TO ENGINEER'S DETAILS

2.5M WIDE DECO GRANITE MAINTENANCE TRACK

RL 370

EXISTING FENCE

CONCRETE HEAD WALL

RIP-RAP/SCOUR PROTECTION PLANTED WITH GRASSES. REFER TO ENGINEER'S DETAILS

STORMWATER OUTLET PIPE TO ENGINEER'S DETAILS

DUCK RIVER

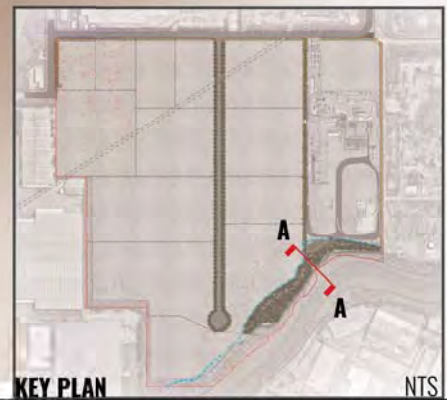
EXISTING VEGETATION TO BE RETAINED

PROPOSED STORMWATER OUTLET 2 TO CIVIL ENGINEER'S DETAILS

2.5M WIDE MAINTENANCE ACCESS TRACK

PROPOSED RIPARIAN BUFFER PLANTING

LOT 6 HARDSTAND



Drawing Title:
Riparian Corridor Section A-A
DWG No: **SSD-08**

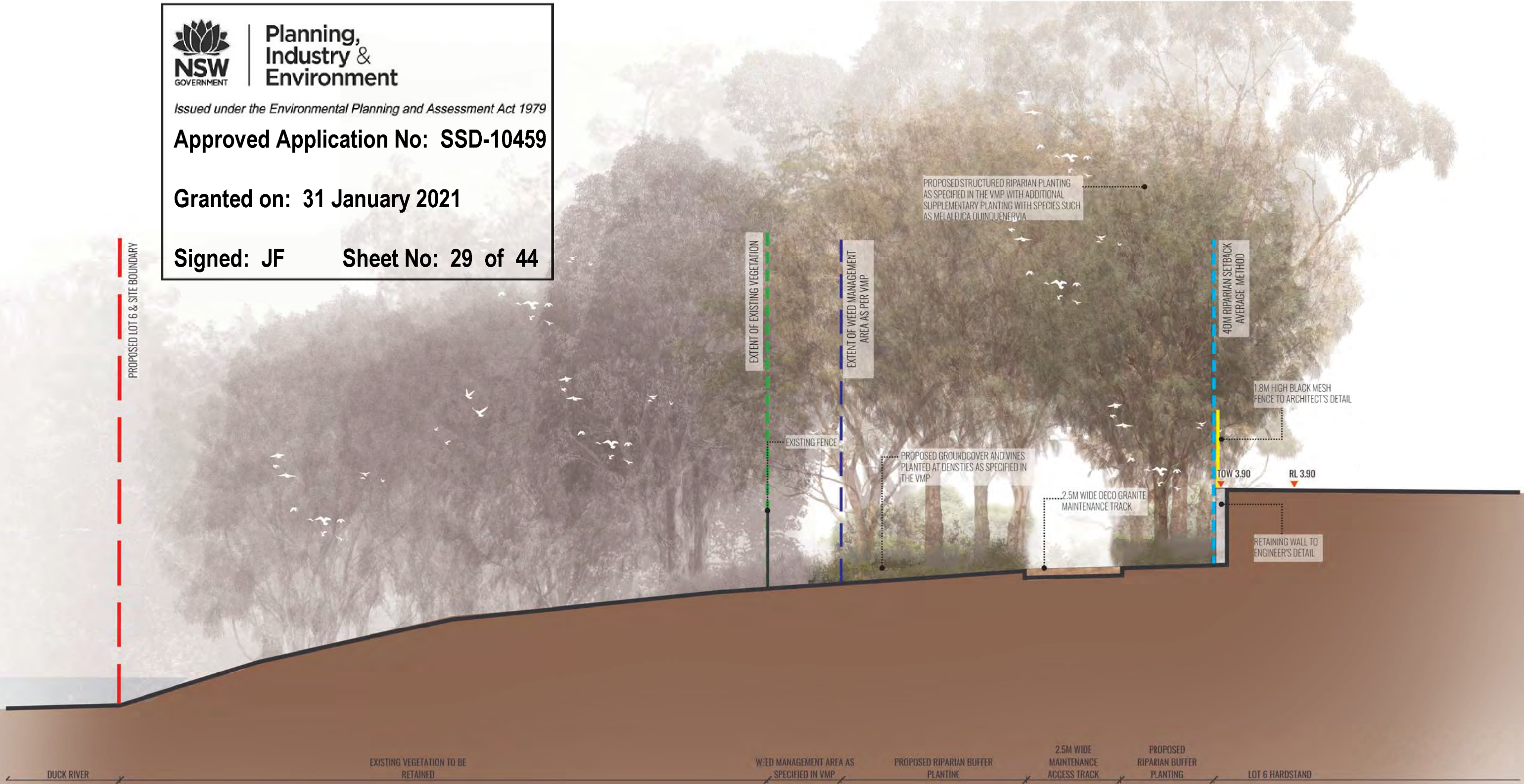
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www.geoscapes.com.au
ABN 84 620 205 781 ACN 620 205 781

Project Manager:
element Element Environment Pty. Ltd.

Client:
VE PROPERTY
LEVEL 16, 720 BOURKE STREET
DOCKLANDS VIC 3008
PF: (03) 8823 444

Scale: 1:50 @ A1
1:100 @ A3
Date: 26.11.2020
Job Number: 200411
North:
Project: **SSD - Central Syney Industrial Estate**
9 Devon Street, Rosehill, NSW 2142

Revision			FOR SSD APPLICATION	
Rev	Date	Description	Drawn	Checked
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I	11.09.20	UPDATED FOR SSD	SB	BG
J	11.11.20	UPDATED FOR RTS	PT	BG
K	26.11.20	UPDATED FOR RTS	PT	BG



Drawing Title:
Riparian Corridor Section B-B
 DWG No: **SSD-09**

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 ABN 84 620 205 781 ACN 620 205 781

Project Manager:
element
 Element Environment
 Pty. Ltd.

Client:
VE PROPERTY
 LEVEL 16, 720 BOURKE STREET
 DICKLANDS VIC 3008
 PF: (03) 8823 444

Scale: 1:50 @ A1 1:100 @ A3	Date: 26.11.2020	Job Number: 200411	North:	Revision				FOR SSD APPLICATION	
Project: SSD - Central Syney Industrial Estate 9 Devon Street, Rosehill, NSW 2142				Rev	Date	Description	Drawn	Checked	
				H	09.09.20	UPDATED FOR SSD	SB	BG	
				I	11.09.20	UPDATED FOR SSD	SB	BG	
				J	11.11.20	UPDATED FOR RTS	PT	BG	
				K	26.11.20	UPDATED FOR RTS	PT	BG	



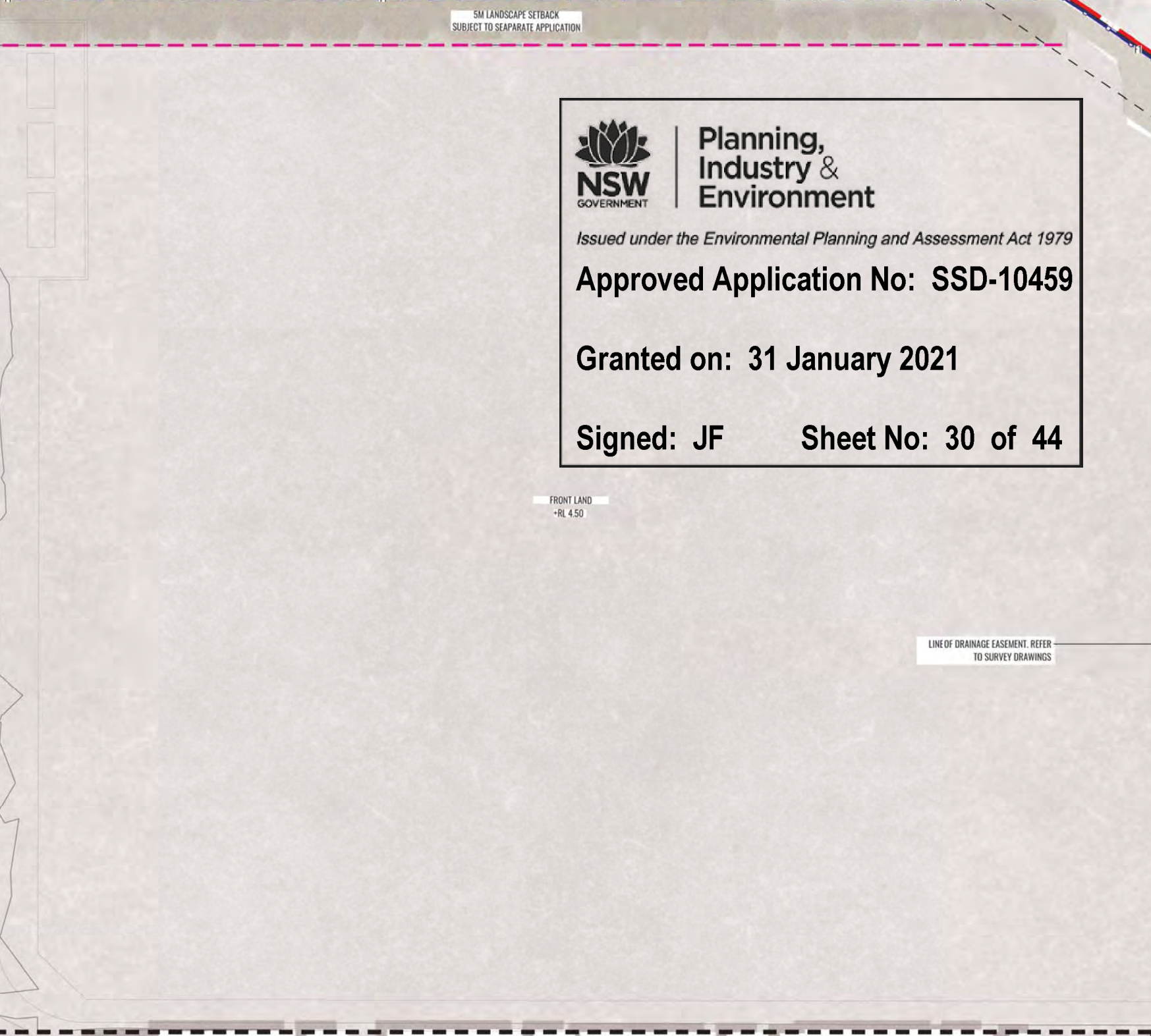
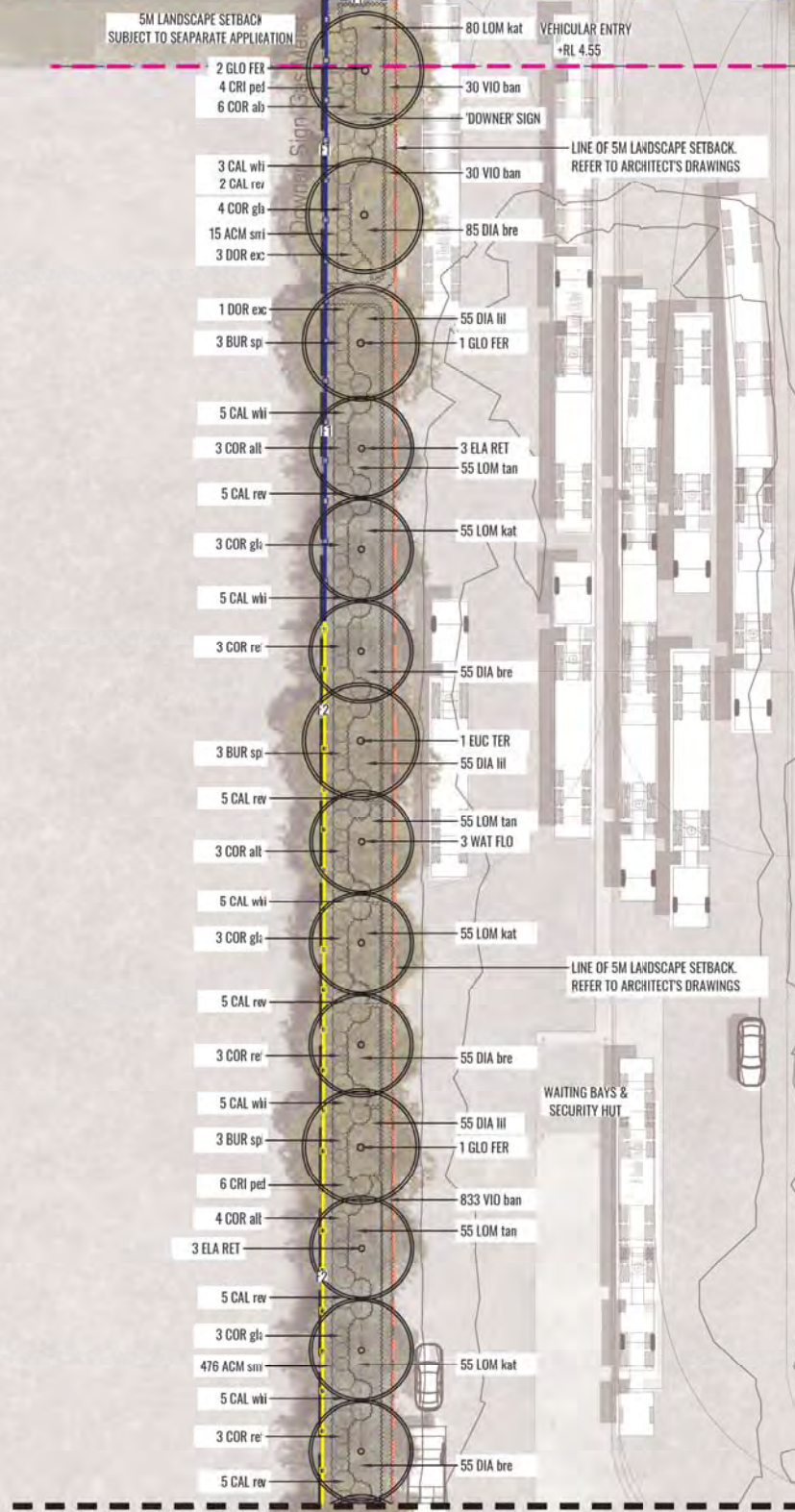
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Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-10459

Granted on: 31 January 2021

Signed: JF Sheet No: 30 of 44



REFER TO SSD-11

LEGEND

- SITE BOUNDARY
- LOT BOUNDARY
- EXISTING STREET TREES TO BE RETAINED.
- EXISTING STREET TREES TO BE REMOVED.
- PROPOSED TREES.
- PROPOSED MASS HEDGE PLANTING & SHRUBS.
- PROPOSED GROUNDCOVERS
- PROPOSED SWALE. REFER TO ENGINEER'S DRAWINGS.
- BIORETENTION BASIN PLANTING. REFER TO ENGINEER'S DRAWINGS.
- HARDSTAND TO ARCHITECT'S DETAIL
- RIPARIAN BUFFER PLANTING. REFER SSD-04 TO SSD-07.
- 40M AVERAGE RIPARIAN CORRIDOR EXTENT. REFER TO VMP FOR DETAILS.
- NEW FOOTPATH TO EXISTING TURFED VERGE
- NEW 2.1M HIGH SECURITY FENCE TO ARCHITECT'S DETAIL.
- NEW 1.8M HIGH BLACK MESH FENCE TO ARCHITECT'S DETAIL.
- 5M WIDE LANDSCAPE SETBACK.
- EASEMENT TO DRAIN WATER. REFER TO SURVEY DRAWINGS.
- EASEMENT FOR SERVICES. REFER TO SURVEY DRAWINGS.
- PROPOSED SITE CONTOURS. REFER TO ENGINEER'S DETAILS
- RETAINING WALL TO ENGINEER'S DETAIL. REFER TO CIVIL DRAWINGS.
- PROPOSED TOP OF WALL LEVELS. +TOW 3.80
- PROPOSED LEVELS. +RL 3.80
- STORMWATER OUTLET WITH RIP-RAP PLANTING. REFER TO CIVIL ENGINEER'S DETAILS.



Drawing Title:
Stage 1 Lot 6 (Downer) Detail Plan - 1
DWG No:
SSD-10

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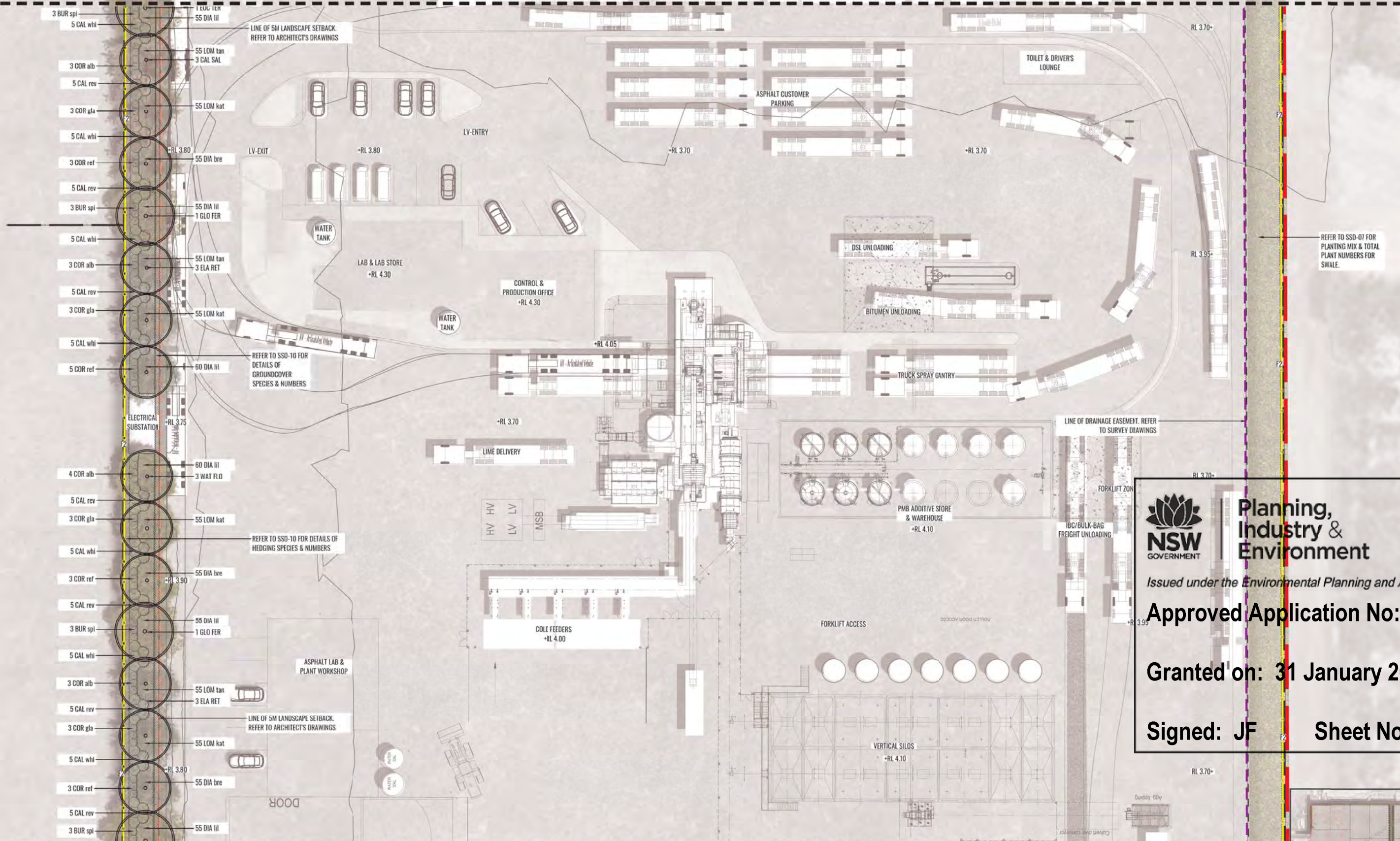
Project Manager:
element Environment
Pty. Ltd.

Client:
VE PROPERTY
LEVEL 16, 720 BOURKE STREET
DOCKLANDS VIC 3008
PF: (03) 8823 444

Scale: 1:250 @ A1, 1:500 @ A3
Date: 26.11.2020
Job Number: 200411
North:

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Rev	Date	Description	Drawn	Checked
H	09.09.20	UPDATED FOR SSD	SB	BG
I	11.09.20	UPDATED FOR SSD	SB	BG
J	11.11.20	UPDATED FOR RTS	PT	BG
K	26.11.20	UPDATED FOR RTS	PT	BG

REFER TO SSD-10



REFER TO SSD-07 FOR PLANTING MIX & TOTAL PLANT NUMBERS FOR SWALE.

REFER TO SSD-10 FOR DETAILS OF GROUND COVER SPECIES & NUMBERS

REFER TO SSD-10 FOR DETAILS OF HEDGING SPECIES & NUMBERS

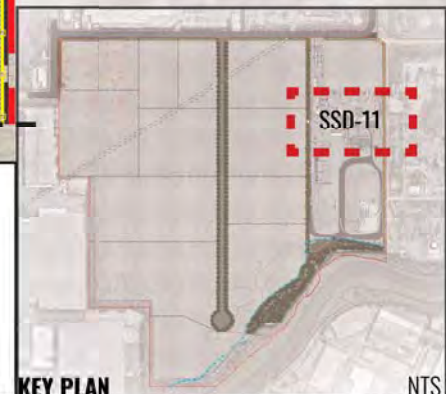
LINE OF 5M LANDSCAPE SETBACK. REFER TO ARCHITECT'S DRAWINGS

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Approved Application No: SSD-10459
Granted on: 31 January 2021
Signed: JF **Sheet No: 31 of 44**

REFER TO SSD-12

LEGEND

SITE BOUNDARY	LOT BOUNDARY	EXISTING STREET TREES TO BE RETAINED.	EXISTING STREET TREES TO BE REMOVED.	PROPOSED TREES.	PROPOSED MASS HEDGE PLANTING & SHRUBS.	PROPOSED GROUNDCOVERS	PROPOSED SWALE. REFER TO ENGINEER'S DRAWINGS.	BIORETENTION BASIN PLANTING. REFER TO ENGINEER'S DRAWINGS.
HARDSTAND TO ARCHITECT'S DETAIL	RIPARIAN BUFFER PLANTING. REFER SSD-04 TO SSD-07.	40M AVERAGE RIPARIAN CORRIDOR EXTENT. REFER TO VMP FOR DETAILS.	NEW FOOTPATH TO EXISTING TURFED VERGE	NEW 2.1M HIGH SECURITY FENCE TO ARCHITECT'S DETAIL.	NEW 1.8M HIGH BLACK MESH FENCE TO ARCHITECT'S DETAIL.	5M WIDE LANDSCAPE SETBACK.	EASEMENT TO DRAIN WATER. REFER TO SURVEY DRAWINGS.	EASEMENT FOR SERVICES. REFER TO SURVEY DRAWINGS.
PROPOSED SITE CONTOURS. REFER TO ENGINEER'S DETAILS	RETAINING WALL TO ENGINEER'S DETAIL. REFER TO CIVIL DRAWINGS.	PROPOSED TOP OF WALL LEVELS.	PROPOSED LEVELS.	STORMWATER OUTLET WITH RIP-RAP PLANTING. REFER TO CIVIL ENGINEER'S DETAILS.				



Drawing Title:
Stage 1 Lot 6 (Downer) Detail Plan - 2
 DWG No:
SSD-11

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Project Manager:

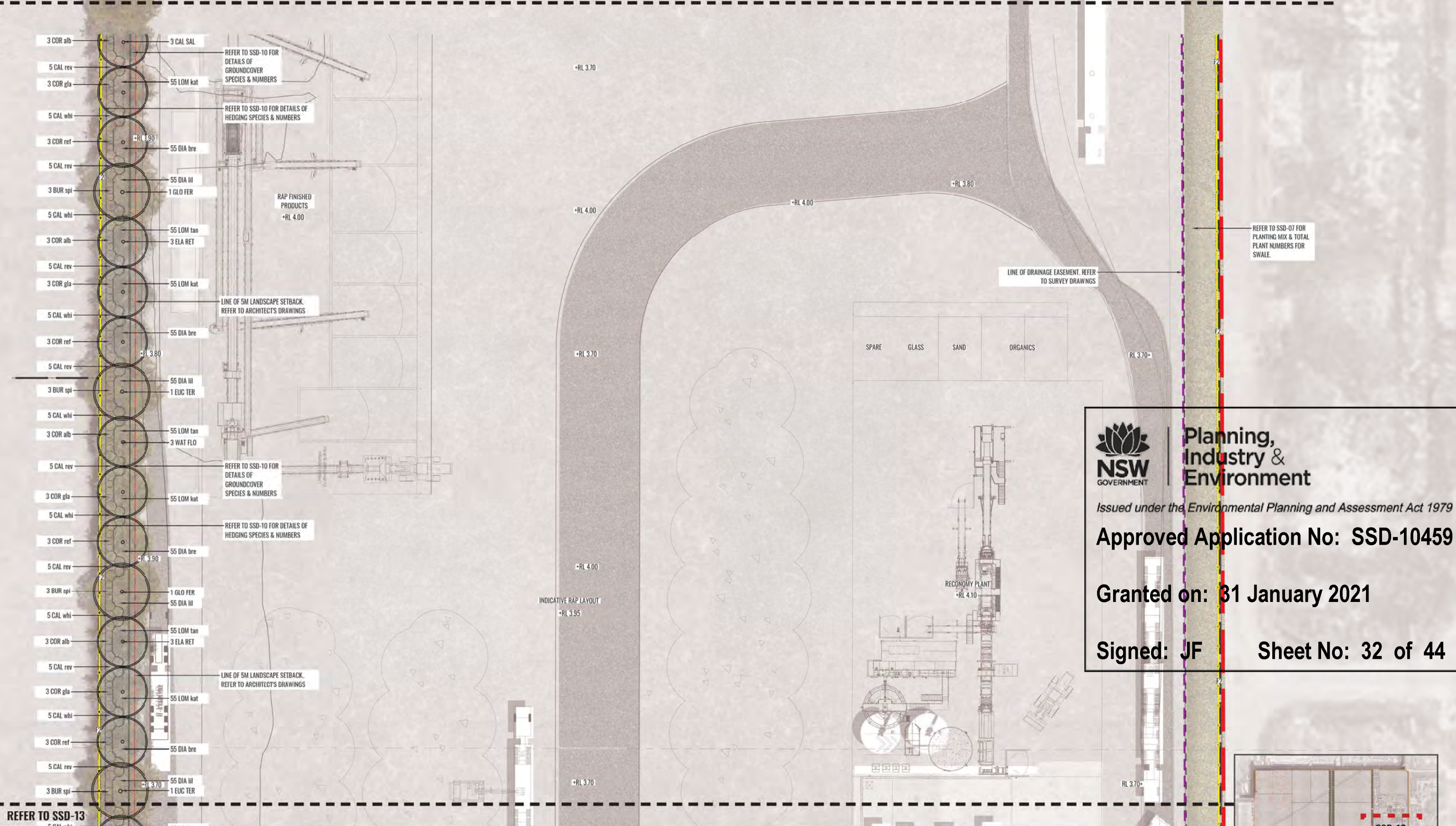
 Element Environment Pty. Ltd.

Client:
VE PROPERTY
 LEVEL 16, 720 BOURKE STREET
 DCKLANDS VIC 3008
 Ph: (03) 8823 444

Scale: 1:250 @ A1
 1:500 @ A3
 Date: 26.11.2020
 Job Number: 200411
 Project: **SSD - Central Syney Industrial Estate**
 9 Devon Street, Rosehill, NSW 2142

FOR SSD APPLICATION

Revision	Rev	Date	Description	Drawn	Checked
H	09.09.20		UPDATED FOR SSD	SB	BG
I	11.09.20		UPDATED FOR SSD	SB	BG
J	11.11.20		UPDATED FOR RTS	PT	BG
K	26.11.20		UPDATED FOR RTS	PT	BG



LEGEND

- SITE BOUNDARY
- LOT BOUNDARY
- EXISTING STREET TREES TO BE RETAINED.
- EXISTING STREET TREES TO BE REMOVED.
- PROPOSED TREES.
- PROPOSED MASS HEDGE PLANTING & SHRUBS.
- PROPOSED GROUNDCOVERS
- PROPOSED SWALE. REFER TO ENGINEER'S DRAWINGS.
- BIORETENTION BASIN PLANTING. REFER TO ENGINEER'S DRAWINGS.
- HARDSTAND TO ARCHITECT'S DETAIL
- RIPARIAN BUFFER PLANTING. REFER SSD-04 TO SSD-07.
- 40M AVERAGE RIPARIAN CORRIDOR EXTENT. REFER TO VMP FOR DETAILS.
- NEW FOOTPATH TO EXISTING TURFED VERGE
- PROPOSED SITE CONTOURS. REFER TO ENGINEER'S DETAILS
- RETAINING WALL TO ENGINEER'S DETAIL. REFER TO CIVIL DRAWINGS.
- NEW 2.1M HIGH SECURITY FENCE TO ARCHITECT'S DETAIL.
- NEW 1.8M HIGH BLACK MESH FENCE TO ARCHITECT'S DETAIL.
- 5M WIDE LANDSCAPE SETBACK.
- EASEMENT TO DRAIN WATER. REFER TO SURVEY DRAWINGS.
- EASEMENT FOR SERVICES. REFER TO SURVEY DRAWINGS.
- STORMWATER OUTLET WITH RIP-RAP PLANTING. REFER TO CIVIL ENGINEER'S DETAILS.

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 Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD-10459
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Drawing Title:
Stage 1 Lot 6 (Downer) Detail Plan - 3
 DWG No: **SSD-12**

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Project Manager:
Element Environment Pty. Ltd.

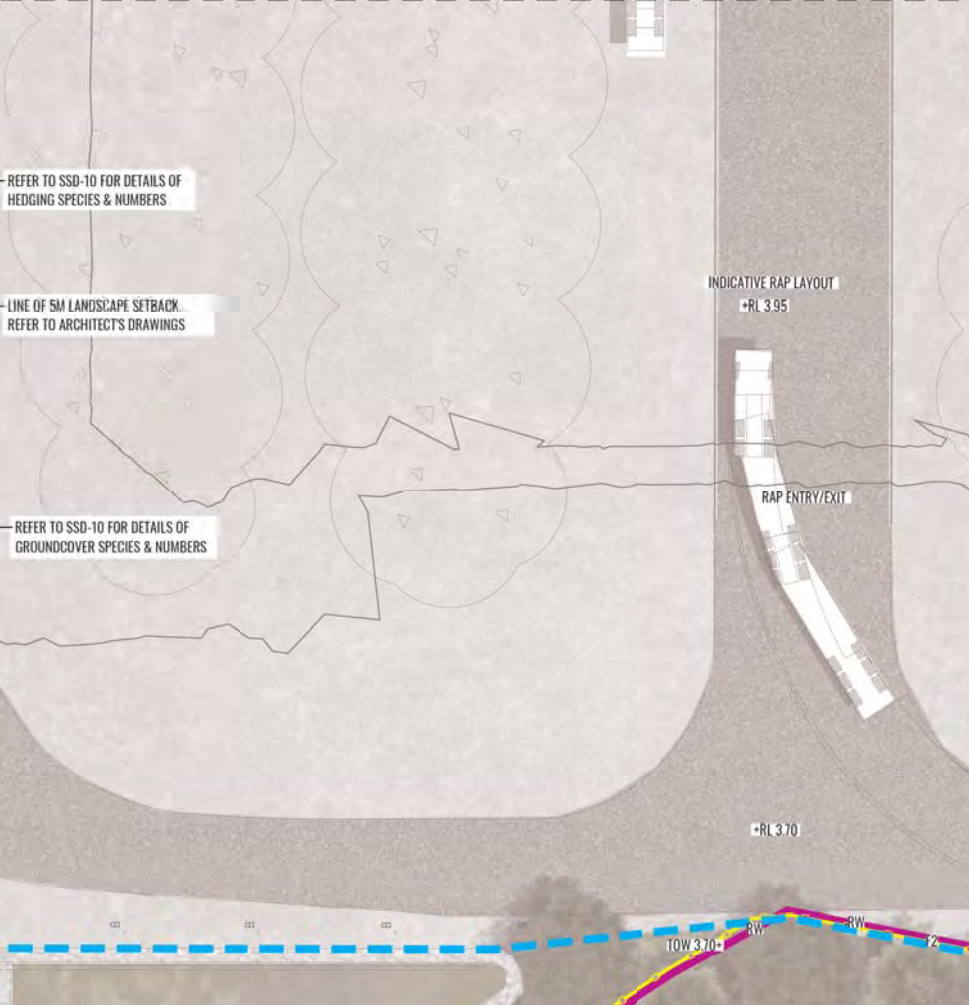
Client:
VE PROPERTY
 LEVEL 16, 720 BOURKE STREET
 DICKLANDS VIC 3008
 PF: (03) 8823 444

Scale: 1:250 @ A1
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 Date: 26.11.2020
 Job Number: 200411
 Project: **SSD - Central Syney Industrial Estate**
 9 Devon Street, Rosehill, NSW 2142

Revision			FOR SSD APPLICATION	
Rev	Date	Description	Drawn	Checked
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J	11.11.20	UPDATED FOR RTS	PT	BG
K	26.11.20	UPDATED FOR RTS	PT	BG

REFER TO SSD-12

- 5 CAL whi
- 3 COR alb
- 5 CAL rev
- 3 COR gla
- 5 CAL whi
- 3 COR ref
- 5 CAL rev
- 3 BUR spl
- 5 CAL whi
- 3 COR alb
- 5 CAL rev
- 3 COR gla
- 5 CAL whi
- 3 COR ref
- 5 CAL rev
- 3 BUR spl
- 5 CAL whi
- 3 COR alb
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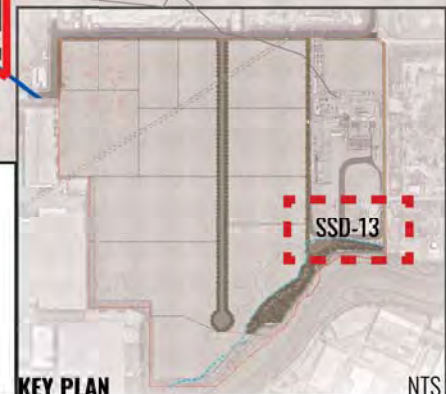
Signed: JF **Sheet No: 33 of 44**

REFER TO SSD-07 FOR PLANTING MIX & TOTAL PLANT NUMBERS FOR SWALE.

LINE OF DRAINAGE EASEMENT REFER TO SURVEY DRAWINGS

LEGEND

SITE BOUNDARY	LOT BOUNDARY	EXISTING STREET TREES TO BE RETAINED.	EXISTING STREET TREES TO BE REMOVED.	PROPOSED TREES.	PROPOSED MASS HEDGE PLANTING & SHRUBS.	PROPOSED GROUNDCOVERS	PROPOSED SWALE. REFER TO ENGINEER'S DRAWINGS.	BIORETENTION BASIN PLANTING. REFER TO ENGINEER'S DRAWINGS.
HARDSTAND TO ARCHITECT'S DETAIL	RIPARIAN BUFFER PLANTING. REFER SSD-04 TO SSD-07.	40M AVERAGE RIPARIAN CORRIDOR EXTENT. REFER TO VMP FOR DETAILS.	NEW FOOTPATH TO EXISTING TURFED VERGE	NEW 2.1M HIGH SECURITY FENCE TO ARCHITECT'S DETAIL.	NEW 1.8M HIGH BLACK MESH FENCE TO ARCHITECT'S DETAIL.	5M WIDE LANDSCAPE SETBACK.	EASEMENT TO DRAIN WATER. REFER TO SURVEY DRAWINGS.	EASEMENT FOR SERVICES. REFER TO SURVEY DRAWINGS.
PROPOSED SITE CONTOURS. REFER TO ENGINEER'S DETAILS	RETAINING WALL TO ENGINEER'S DETAIL. REFER TO CIVIL DRAWINGS.	+TOW 3.80 PROPOSED TOP OF WALL LEVELS.	+RL 3.80 PROPOSED LEVELS.	STORMWATER OUTLET WITH RIP-RAP PLANTING. REFER TO CIVIL ENGINEER'S DETAILS.				



Drawing Title:
Stage 1 Lot 6 (Downer) Detail Plan - 4

DWG No:
SSD-13

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Project Manager:
element Element Environment Pty. Ltd.

Client:
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LEVEL 16, 720 BOURKE STREET
DICKLANDS VIC 3008
PF: (03) 8823 444

Scale: 1:250 @ A1, 1:500 @ A3
Date: 26.11.2020
Job Number: 200411
North:

Project: **SSD - Central Syney Industrial Estate**
9 Devon Street, Rosehill, NSW 2142

Revision			FOR SSD APPLICATION	
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J	11.11.20	UPDATED FOR RTS	PT	BG
K	26.11.20	UPDATED FOR RTS	PT	BG



2.1M HIGH SECURITY FENCE TO ARCHITECT'S DETAIL

LAYERED SCREEN PLANTING ALONG 5m WIDE WESTERN BOUNDARY OF LOT 6. PLANTING TO INCLUDE NATIVE SPECIES SUCH AS ELAEOCARPUS RETICULATUS, WATERHOUSEA FLORIBUNDA, GLOCHIDION FERDINANDI, DIANELLA 'LITTLE REV', LOMANDRA LONGIFOLIA 'TANIKA', ETC..

RL 4.80

RL 4.10

ADJOINING LAND

50M WIDE PLANTING BUFFER

LOT 6 DRIVEWAY



KEY PLAN NTS

Drawing Title:
Stage 1 Lot 6 (Downer) Section CC
DWG No: **SSD-14**

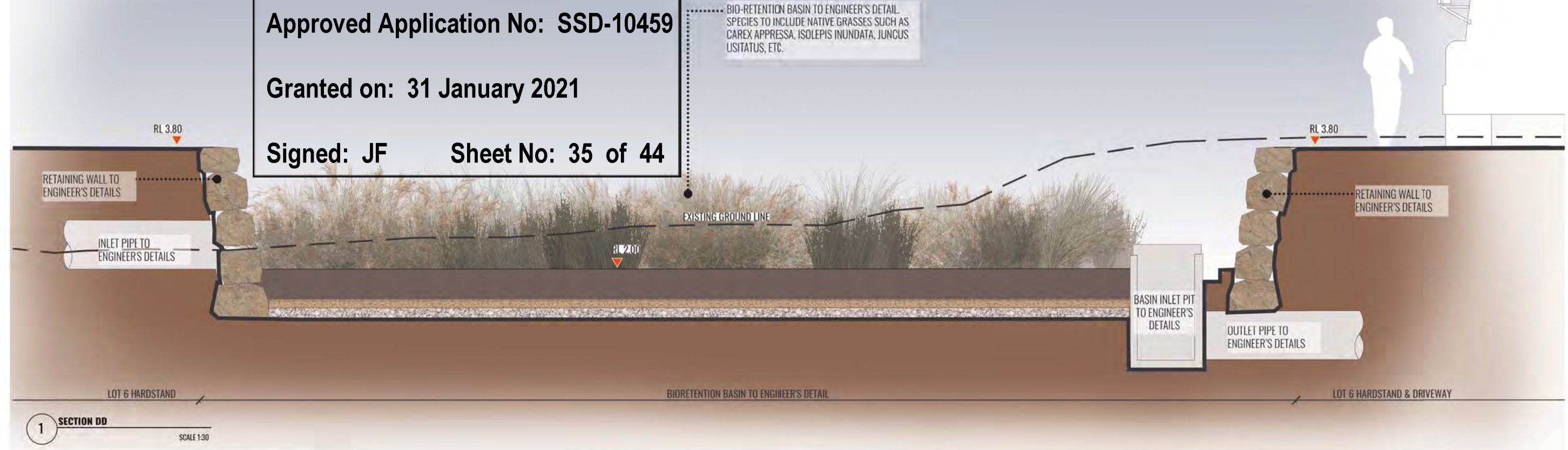
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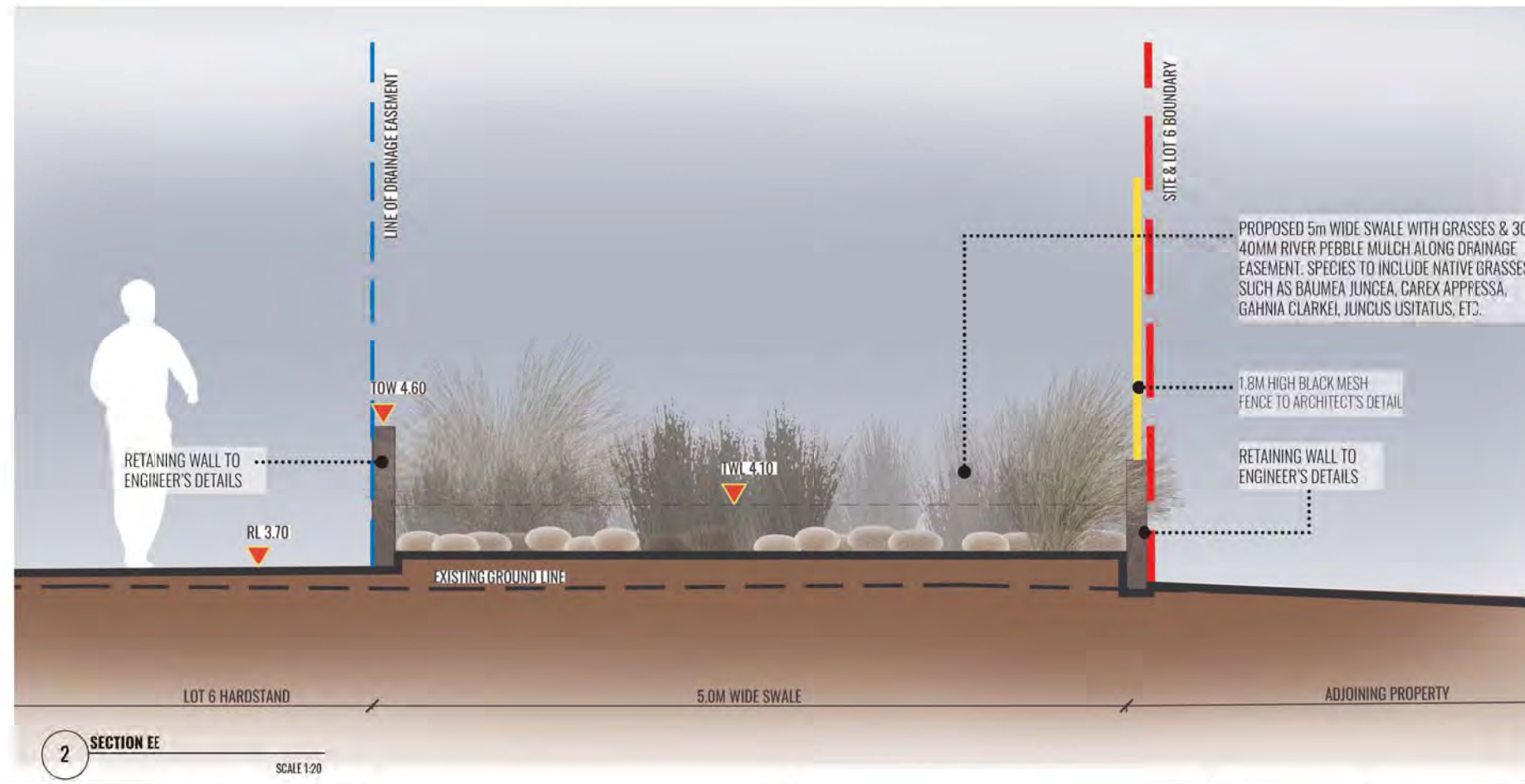
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					I	11.09.20	UPDATED FOR SSD	SB	BG
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					K	26.11.20	UPDATED FOR RTS	PT	BG

Project: **SSD - Central Syney Industrial Estate**
9 Devon Street, Rosehill, NSW 2142



BIO-RETENTION BASIN TO ENGINEER'S DETAIL. SPECIES TO INCLUDE NATIVE GRASSES SUCH AS CAREX APPRESSA, ISOLEPIS INUNDATA, JUNCUS USITATUS, ETC.

1 SECTION DD SCALE 1:30

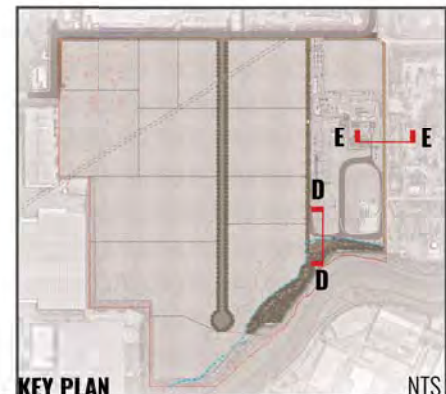


PROPOSED 5m WIDE SWALE WITH GRASSES & 30-40MM RIVER PEBBLE MULCH ALONG DRAINAGE EASEMENT. SPECIES TO INCLUDE NATIVE GRASSES SUCH AS BAUMEA JUNCEA, CAREX APPRESSA, GAHNSIA CLARKEI, JUNCUS USITATUS, ETC.

1.8M HIGH BLACK MESH FENCE TO ARCHITECT'S DETAIL

RETAINING WALL TO ENGINEER'S DETAILS

2 SECTION EE SCALE 1:20



KEY PLAN NTS

Drawing Title:
Stage 1 Lot 6 (Downer) Sections DD & EE
 DWG No: **SSD-15**

GEOSCAPES
 LANDSCAPE ARCHITECTS
 Suite 215, 284 Victoria Ave, Chatswood NSW 2067 Ph. (02) 9411 1485
 www.geoscapes.com.au
 ABN 84 620 205 781 ACN 620 205 781

Project Manager:
element Element Environment
 Pty. Ltd.

Client:
VE PROPERTY
 LEVEL 16, 720 BOURKE STREET
 DOCKLANDS VIC 3008
 PF: (03) 8823 444

Scale: As shown @ A1			Date: 26.11.2020		Job Number: 200411		North:		Revision		FOR SSD APPLICATION	
Rev	Date	Description	Drawn	Checked								
H	09.09.20	UPDATED FOR SSD	SB	BG								
I	11.09.20	UPDATED FOR SSD	SB	BG								
J	11.11.20	UPDATED FOR RTS	PT	BG								
K	26.11.20	UPDATED FOR RTS	PT	BG								

Project: **SSD - Central Syney Industrial Estate**
 9 Devon Street, Rosehill, NSW 2142

OUTLINE SPECIFICATION AND MAINTENANCE PLAN

SPECIFICATIONS

Soils

Contractor to assess and test existing site soils for potential deficiencies. Any new topsoil required for re-vegetation works should ideally consist of 50% existing site topsoil and 50% new topsoil equal or equivalent to 'Native Low 'P' Mix' as supplied by Australian Native Landscapes. Soil to conform to AS4419 and specifications as listed in Landscape Soils Handbook (Simon Leake & Elke Haeger 2017). Refer to typical planting detail.

Mulch

75mm of Forest Fines Organic Mulch. Mulching and conditioners to be in accordance with AS4454.

Plant Stock

All grown or purchased plant stock must conform to all the conditions and requirements given in NATSPEC Guide: Specifying Trees. Forestry protective tubes to be used on all tree planting.

MAINTENANCE

All maintenance practices for the Riparian Management Zone must follow those specified within the VMP prepared by AECOM Australia Pty Ltd.

Monitoring, maintenance and review processes must be carried out for a **minimum period of 24 months** by a qualified Bush Regeneration Consultant. As per the VMP there are two specific tasks to be undertaken, these are weed management and regenerative planting within the Riparian Management Zone. Both of these are separated into tasks during and following construction. This includes ongoing maintenance for the duration of development works. A qualified bush regeneration consultant must be engaged to inspect and manage the Riparian Management Zone. This will ensure that any maintenance works within the Riparian Management Zone are guided by the principles as outlined in the VMP and according to best practice Bush Regeneration techniques.

Outline Summary of Maintenance Tasks (Note: Refer to VMP for detailed maintenance tasks)

Sediment and Erosion Control

Inspection during the construction period to ensure effectiveness.

Frequency During Construction: Daily

Rubbish Removal

Rubbish removal must be undertaken on a regular basis to ensure the site remains in tidy condition and rubbish does not enter the waterway.

Frequency During Construction: Weekly

Frequency During Operation: Monthly for 2 years

Weed Eradication and Management

Treatment of weeds should, as a first priority, be undertaken with best practice bush regeneration techniques aimed at minimal use of herbicides, encouragement of natural regrowth, the use of non-invasive grass species and the prevention of weed seed or spread. Always use mechanical/physical removal over the use of herbicide where possible.

Frequency During Construction: Weekly

Frequency During Operation : Annually for 2 years

Tree Replacement and Growth

Tree replacement strategies undertaken as per Bush Regeneration consultant's recommendations. Undertake monitoring of condition of Riparian Management Zone and undertake weeding and replanting if required. To ensure the standard of 90% survival rate, revegetated areas would undergo regular maintenance of watering, weeding, replacement of dead or dying plants and adjustment of tree protection fencing where necessary.

Frequency During Construction: Ongoing

Frequency During Operation: Annually for 2 years

Pruning, Trimming, Stakes and Ties

Remove deadwood, remove suckering roots from rootball, check ties. Improve plant shape and promote new growth. Adjust ties and stakes as necessary. Stakes can be removed once plants are self-supporting.

Frequency During Construction: Ongoing

Frequency During Operation: Annually for 2 years

Pests and Disease Control

Inspection of the riparian management zone to investigate the presence of pests, diseases and feral animals.

Frequency During Construction: Monthly or after major storm events.

Frequency During Operation : Monthly for 2 years

Mulching

If mulch layer gets thin during establishment period, top up mulch.

Frequency During Construction: Ongoing

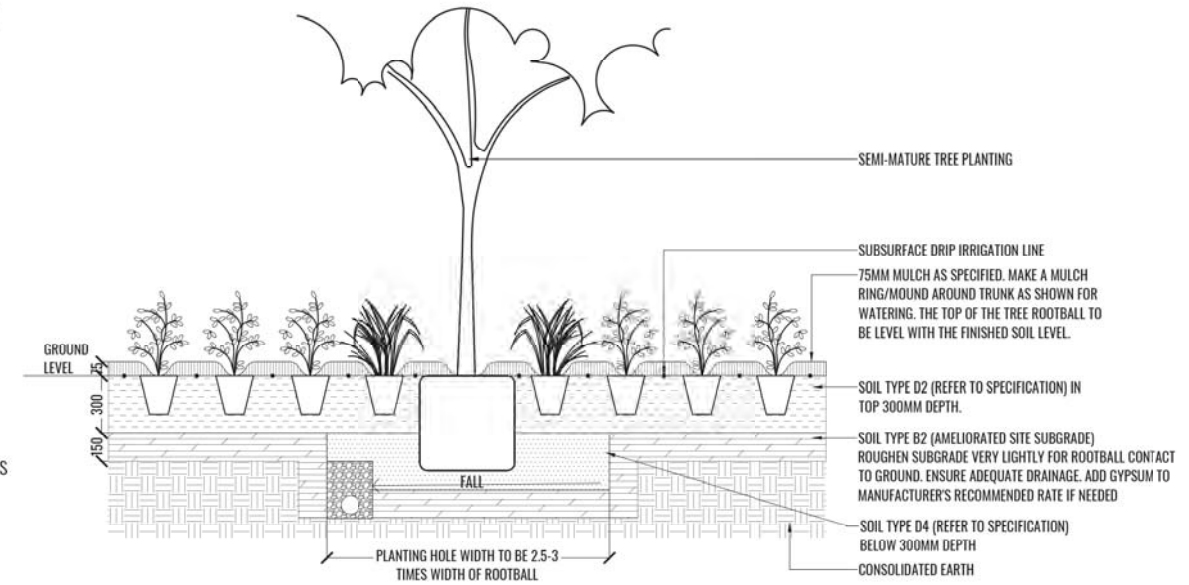
Frequency During Operation: Annually for 2 years

Watering

A temporary irrigation system or regular hand watering should be undertaken. Water as necessary every day especially during periods of hot weather. Best practice watering is early morning or late afternoon to reduce evaporation. Frequency During Construction: 2 week interval watering should be maintained until planting is fully established.

TYPICAL LANDSCAPE DETAILS

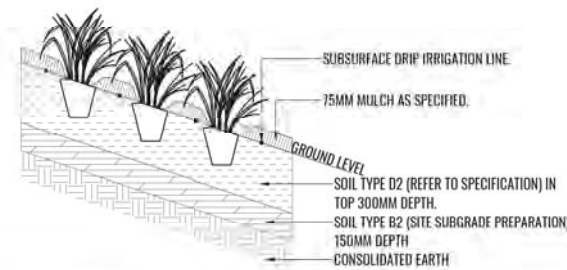
TREE/SHRUB SIZE AND QUALITY TO BE TO NATSPEC STANDARD. SPECIES IS TO BE AS PER PLAN AND PLANT SCHEDULE. ENSURE ONLY HEALTHY AND VIGOROUS, DISEASE FREE, WELL MAINTAINED PLANTS ARE USED. TAKE CARE TO ENSURE FOLIAGE, BRANCHES, TRUNKS AND ROOT CROWNS ARE NOT DAMAGED BEFORE, DURING AND AFTER PLANTING. ENSURE OPTIMUM MAINTENANCE AND ESTABLISHMENT OF TREES/SHRUBS OCCURS AS SOON AS THEY ARE AT SITE



THOROUGHLY SOAK THE ROOTBALL OF TREE WITH FRESH WATER BEFORE TAKING OFF POT OR BAG. WHEN PLANTING HOLE IS COMPLETE USE A SHARP SPADE TO SHAVE OFF 20-50MM OF THE SIDES AND BASE OF ROOTBALL (TO ROOT PRUNE IT) BEFORE CAREFULLY PLACING INTO PLANTING HOLE. IF NORTH IS MARKED ON THE TREE, ENSURE ORIENTATION IS CORRECT WITH NORTH MARKING TO THE NORTH.
 - REMOVE ANY STAKES, TIES AND LABELS. WATER ROOTBALL THOROUGHLY.
 - TOP OF ROOTBALL TO FINISH FLUSH WITH TOP OF SOIL

1 MASS PLANTING TYPICAL DETAIL
 TYPICAL SECTION SCALE 1:20

NATSPEC QUALITY PLANTS TO BE INSTALLED. FOR PLANT SPECIES, QUANTITIES AND SIZE, REFER TO LANDSCAPE PLAN AND PLANTING SCHEDULE



2 TYPICAL TUBESTOCK PLANTING ON 1 IN 4 SLOPE OR FLATTER DETAIL
 TYPICAL SECTION SCALE 1:20

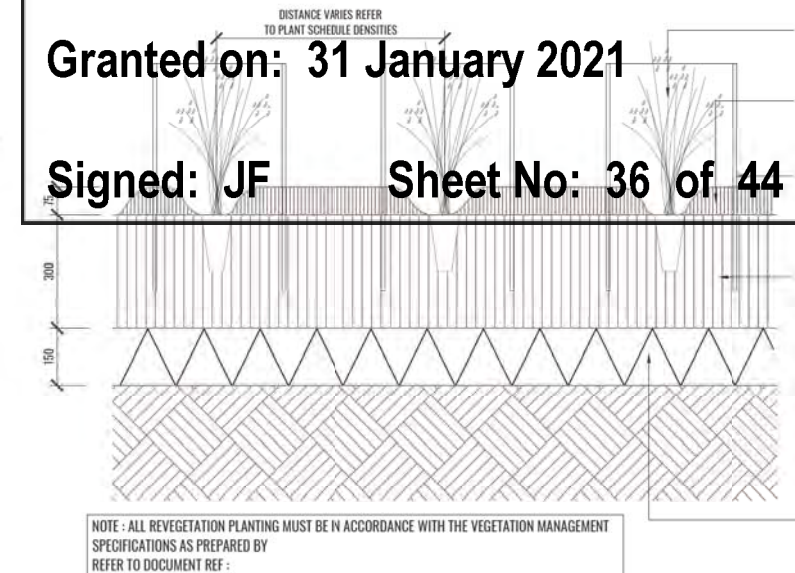
Planning,
Industry &
Environment

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Approved Application No: SSD-10459

Granted on: 31 January 2021

Signed: JF Sheet No: 36 of 44



3 TYPICAL TUBESTOCK REVEGETATION PLANTING DETAIL
 TYPICAL SECTION SCALE 1:10

Drawing Title: Specifications & Typical Details DWG No: SSD-16	 Suite 215, 284 Victoria Ave, Chatswood NSW 2067 Ph. (02) 9411 1485 www.geoscapes.com.au ABN 84 620 205 781 ACN 620 205 781	Project Manager: Element Environment Pty. Ltd.	Client: VE PROPERTY LEVEL 16, 720 BOURKE STREET DOCKLANDS VIC 3008 PF: (03) 8823 444	Scale: As shown @ A1	Date: 26.11.2020	Job Number: 200411	North: SSD - Central Syney Industrial Estate 9 Devon Street, Rosehill, NSW 2142	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="3">Revision</th> <th colspan="2">FOR SSD APPLICATION</th> </tr> <tr> <th>Rev</th> <th>Date</th> <th>Description</th> <th>Drawn</th> <th>Checked</th> </tr> </thead> <tbody> <tr> <td>H</td> <td>09.09.20</td> <td>UPDATED FOR SSD</td> <td>SB</td> <td>BG</td> </tr> <tr> <td>I</td> <td>11.09.20</td> <td>UPDATED FOR SSD</td> <td>SB</td> <td>BG</td> </tr> <tr> <td>J</td> <td>11.11.20</td> <td>UPDATED FOR RTS</td> <td>PT</td> <td>BG</td> </tr> <tr> <td>K</td> <td>26.11.20</td> <td>UPDATED FOR RTS</td> <td>PT</td> <td>BG</td> </tr> </tbody> </table>	Revision			FOR SSD APPLICATION		Rev	Date	Description	Drawn	Checked	H	09.09.20	UPDATED FOR SSD	SB	BG	I	11.09.20	UPDATED FOR SSD	SB	BG	J	11.11.20	UPDATED FOR RTS	PT	BG	K	26.11.20	UPDATED FOR RTS	PT	BG
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PLANTING SCHEDULE

Riparian Corridor Planting - Swamp Oak Floodplain Forest								
CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE WIDTH	POT SIZE	NATIVE	PLANTING DENSITY	QTY*
Trees Canopy Species 1 per 300m2								
ALP EXC	<i>Alphitonia excelsa</i>	Red Ash	20m	15m	Forestry Tube	✓	AS SHOWN	11
CAS GLA	<i>Casuarina glauca</i>	Swamp Oak	20m	15m	Forestry Tube	✓	AS SHOWN	15
GLO FER	<i>Glochidion ferdinandi</i>	Cheese Tree	15m	8m	Forestry Tube	✓	AS SHOWN	16
MEL STY	<i>Melaleuca styphelioides</i>	Prickly-leaved Tea Tree	10m	8m	Forestry Tube	✓	AS SHOWN	11
MEL QUI	<i>Melaleuca quinquenervia</i>	Forest Red Gum	20m	6m	Forestry Tube	✓	AS SHOWN	19
Small Trees / Shrubs 1 per 50m2								
ACM smi	<i>Acmena smithii</i>	Lilly Pilly	3-5m	2m	Tube	✓	AS SHOWN	182
CUP ANA	<i>Cupaniopsis anacardioides</i>	Turkeroo	6m	3m	Tube	✓	AS SHOWN	19
CAL SAL	<i>Callistemon salignus</i>	Sweet Willow Bottlebrush	8m	5m	Tube	✓	AS SHOWN	15
MEL alt	<i>Melaleuca alternifolia</i>	Narrow-leaved Paperbark	7m	3m	Tube	✓	AS SHOWN	95
MEL ERI	<i>Melaleuca ericifolia</i>	Swamp Paperbark	9-15m	3m	Tube	✓	AS SHOWN	34
MYO acu	<i>Myoporum acuminatum</i>	Waterbush	10m	3m	Tube	✓	AS SHOWN	88
Grasses and Groundcovers 1 per 2.5m2 in fully structured vegetation only								
BLE ind	<i>Blechnum indicum</i>	Swamp Water-fern	1m	NIL	Forestry tube	✓	AS SHOWN	467
CAR app	<i>Carex appressa</i>	Tall Sedge	1m	1m	Forestry tube	✓	AS SHOWN	467
DIA cae	<i>Dianella caerulea</i>	Blue Flax Lily	0.8m	1.5m	Forestry tube	✓	AS SHOWN	513
JUN usi	<i>Juncus usitatus</i>	Common Rush	1.2m	0.5m	Forestry tube	✓	AS SHOWN	467
ISO inu	<i>Isolepis inundata</i>	Swamp Club-sedge	0.5m	0.5m	Forestry tube	✓	AS SHOWN	467
LOM lon	<i>Lomandra longifolia</i>	Spiny-headed Mat-Rush	0.8m	0.8m	Forestry tube	✓	AS SHOWN	513
VIO ban	<i>Viola banksii</i>	A Violet	0.40m	NIL	Forestry tube	✓	AS SHOWN	513
Vines 1 per 25m2 in fully structured vegetation only								
PAR str	<i>Parsonsia straminea</i>	Common Silkpod	0.1m	NIL	Tube	✓	AS SPECIFIED	114
STE dis	<i>Stephania japonica var. discolor</i>	Snake Vine	na	NIL	Tube	✓	AS SPECIFIED	113
FLA ind	<i>Flagellaria indica</i>	Whip Vine	15m	NIL	Tube	✓	AS SPECIFIED	113
Bioretention Basin planting								
BAU jun	<i>Baumea juncea</i>	Bare Twig Rush	1m	1m	Tubestock	✓	5/m2	370
CAR app	<i>Carex appressa</i>	Tall Sedge	1m	1m	Tubestock	✓	5/m2	370
DIA cae	<i>Dianella caerulea</i>	Blue Flax Lily	0.8m	1.5m	Tubestock	✓	5/m2	370
GAH cla	<i>Gahnia clarkei</i>	Saw Sedge	1.5m	1.5m	Tubestock	✓	5/m2	370
IMP inu	<i>Imperata cylindrica var. major</i>	Blady Grass	1.2m	0.3m	Tubestock	✓	5/m2	370
ISO inu	<i>Isolepis inundata</i>	Swamp Club-sedge	0.5m	0.5m	Tubestock	✓	5/m2	370
JUN usi	<i>Juncus usitatus</i>	Common Rush	1.2m	0.5m	Tubestock	✓	5/m2	370
LOM lon	<i>Lomandra longifolia</i>	Spiny-headed Mat-Rush	0.8m	0.8m	Tubestock	✓	5/m2	370
Stormwater Outlet Rip-rap Planting								
BAU jun	<i>Baumea juncea</i>	Bare Twig Rush	1m	1m	Tubestock	✓	3/m2	39
CAR app	<i>Carex appressa</i>	Tall Sedge	1m	1m	Tubestock	✓	3/m2	39
DIA cae	<i>Dianella caerulea</i>	Blue Flax Lily	0.8m	1.5m	Tubestock	✓	3/m2	39
GAH cla	<i>Gahnia clarkei</i>	Saw Sedge	1.5m	1.5m	Tubestock	✓	3/m2	39
IMP inu	<i>Imperata cylindrica var. major</i>	Blady Grass	1.2m	0.3m	Tubestock	✓	3/m2	39
ISO inu	<i>Isolepis inundata</i>	Swamp Club-sedge	0.5m	0.5m	Tubestock	✓	3/m2	39
JUN usi	<i>Juncus usitatus</i>	Common Rush	1.2m	0.5m	Tubestock	✓	3/m2	39
LOM lon	<i>Lomandra longifolia</i>	Spiny-headed Mat-Rush	0.8m	0.8m	Tubestock	✓	3/m2	39
Swale planting								
BAU jun	<i>Baumea juncea</i>	Bare Twig Rush	1m	1m	Tubestock	✓	3/m2	17
CAR app	<i>Carex appressa</i>	Tall Sedge	1m	1m	Tubestock	✓	3/m2	17
DIA cae	<i>Dianella caerulea</i>	Blue Flax Lily	0.8m	1.5m	Tubestock	✓	3/m2	17
GAH cla	<i>Gahnia clarkei</i>	Saw Sedge	1.5m	1.5m	Tubestock	✓	3/m2	17
IMP inu	<i>Imperata cylindrica var. major</i>	Blady Grass	1.2m	0.3m	Tubestock	✓	3/m2	17
ISO inu	<i>Isolepis inundata</i>	Swamp Club-sedge	0.5m	0.5m	Tubestock	✓	3/m2	17
JUN usi	<i>Juncus usitatus</i>	Common Rush	1.2m	0.5m	Tubestock	✓	3/m2	17
LOM lon	<i>Lomandra longifolia</i>	Spiny-headed Mat-Rush	0.8m	0.8m	Tubestock	✓	3/m2	17

*Final plant number to be calculated at CC stage

Stage 1 Lot 6 Downer Site Planting								
CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE WIDTH	POT SIZE	NATIVE	PLANTING DENSITY	QTY*
Trees								
CAL SAL	<i>Callistemon salignus</i>	Sweet Willow Bottlebrush	8m	5m	100LT	✓	AS SHOWN	9
ELA RET	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	9m	4m	75LT	✓	AS SHOWN	21
EUC TER	<i>Eucalyptus tereticornis</i>	Forest Red Gum	20-30m	5m	75LT	✓	AS SHOWN	6
GLO FER	<i>Glochidion ferdinandi</i>	Cheese Tree	15m	8m	100LT	✓	AS SHOWN	9
WAT FLD	<i>Waterhousea floribunda</i>	Weeping Lilly Pilly	8m	5m	75LT	✓	AS SHOWN	11
Shrubs & Hedge planting								
ACM smi	<i>Acmena smithii</i>	Lilly Pilly	3m**	1m	200mm	✓	750mm Ctrs	491
BUR spi	<i>Bursaria spinosa</i>	Sweet Bursaria	1.5-4m	1.5-3m	200mm	✓	AS SHOWN	39
COR alb	<i>Correa alba</i>	White Correa	1.5m	1.5m	200mm	✓	AS SHOWN	50
COR gla	<i>Correa glabra 'Ivory Lantern'</i>	Rock Correa	1.6m	0.6m	200mm	✓	AS SHOWN	45
COR ref	<i>Correa reflexa</i>	Native Fuchsia	0.5-1.2m	0.5m	200mm	✓	AS SHOWN	41
CAL rev	<i>Callistemon citrinus 'Reeve's Pink'</i>	Reeve's Pink Bottlebrush	3m	2m	200mm	✓	AS SHOWN	137
CAL whi	<i>Callistemon citrinus 'White Anzac'</i>	Bottlebrush	0.5-1.5m	2m	200mm	✓	AS SHOWN	128
CRI ped	<i>Crinum pedunculatum</i>	Swamp Lily	1.5-3m	1-3m	200mm	✓	AS SHOWN	10
DDR exc	<i>Doryanthes excelsa</i>	Gynea Lily	2-3m	2-3m	200mm	✓	AS SHOWN	4
Grasses and Groundcovers								
DIA bre	<i>Dianella caerulea 'Breeze'</i>	Blue Flax Lily	0.8m	0.8m	Tubestock	✓	5/m2	745
DIA lil	<i>Dianella caerulea 'Little Jess'</i>	Blue Flax Lily	0.4m	0.4m	Tubestock	✓	5/m2	700
LOM tan	<i>Lomandra longifolia 'Tanika'</i>	Spiny-headed Mat-Rush	0.8m	0.6m	Tubestock	✓	5/m2	714
LOM kat	<i>Lomandra longifolia 'Katrinus Deluxe'</i>	Spiny-headed Mat-Rush	0.8m	0.8m	Tubestock	✓	5/m2	804
VIO ban	<i>Viola banksii</i>	Native Violet	0.4m	NIL	140mm	✓	3/m2	893
Swale planting								
BAU jun	<i>Baumea juncea</i>	Bare Twig Rush	1m	1m	Tubestock	✓	3/m2	647
CAR app	<i>Carex appressa</i>	Tall Sedge	1m	1m	Tubestock	✓	3/m2	647
DIA cae	<i>Dianella caerulea</i>	Blue Flax Lily	0.8m	1.5m	Tubestock	✓	3/m2	647
GAH cla	<i>Gahnia clarkei</i>	Saw Sedge	1.5m	1.5m	Tubestock	✓	3/m2	647
IMP inu	<i>Imperata cylindrica var. major</i>	Blady Grass	1.2m	0.3m	Tubestock	✓	3/m2	647
ISO inu	<i>Isolepis inundata</i>	Swamp Club-sedge	0.5m	0.5m	Tubestock	✓	3/m2	647
JUN usi	<i>Juncus usitatus</i>	Common Rush	1.2m	0.5m	Tubestock	✓	3/m2	647
LOM lon	<i>Lomandra longifolia</i>	Spiny-headed Mat-Rush	0.8m	0.8m	Tubestock	✓	3/m2	647

*Final plant number to be calculated at CC stage

**To be trimmed to specified height

Proposed Access Road Street tree planting								
CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE WIDTH	POT SIZE	NATIVE	PLANTING DENSITY	QTY*
Trees								
MEL LIN	<i>Melaleuca linearifolia</i>	Snow in Summer	10m	4m	75LT	✓	AS SHOWN	144



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Approved Application No: SSD-10459

Granted on: 31 January 2021

Signed: JF

Sheet No: 37 of 44

PLANT IMAGES



Alphitonia excelsa

Casuarina glauca

Melaleuca quinquenervia



Callistemon salignus

Waterhousea floribunda

Acmena smithii



Carex appressa

Lomandra longifolia

Dianella caerulea



Crinum pedunculatum

Viola banksii

Myoporum acuminatum

Drawing Title:
Planting Schedules & Imagery

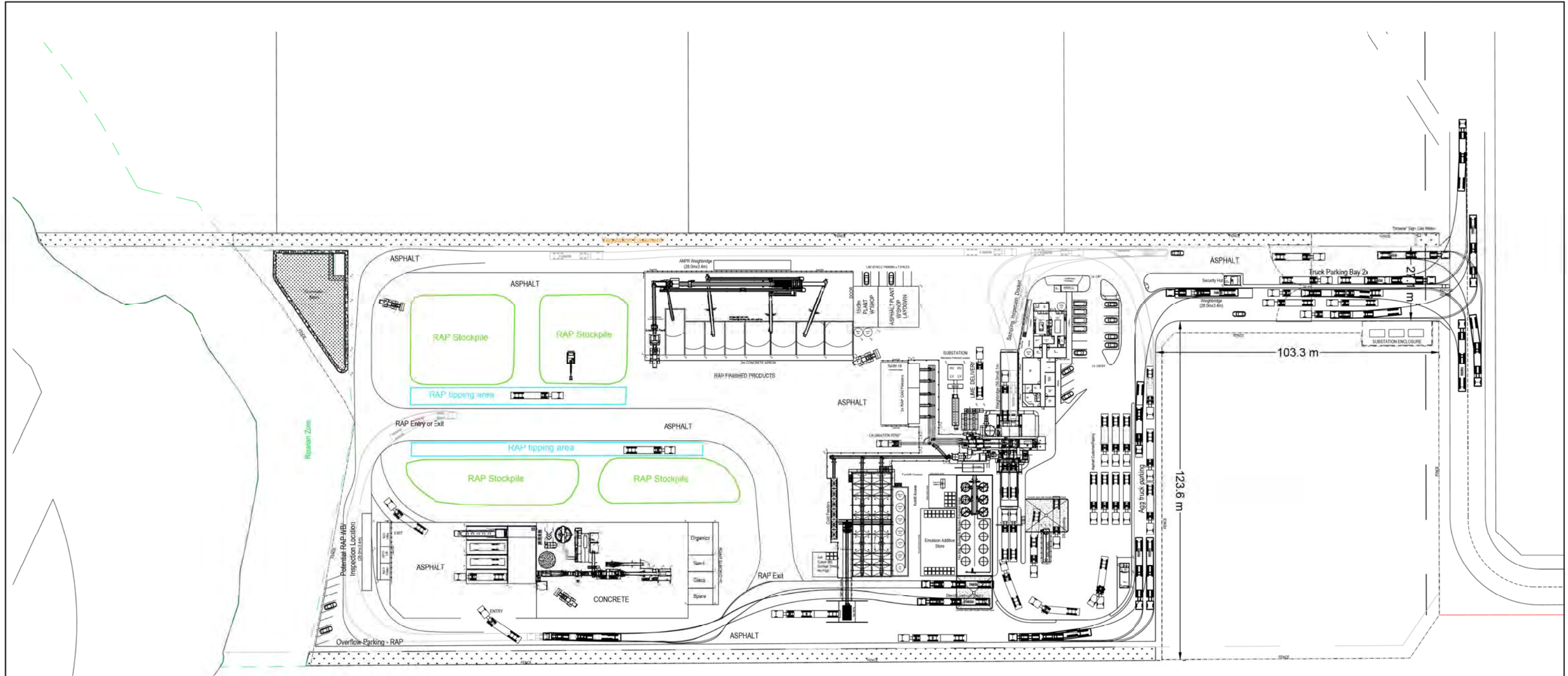
DWG No:
SSD-17

GEOSCAPES
LANDSCAPE ARCHITECTS
Suite 215, 284 Victoria Ave, Chatswood NSW 2067 Ph. (02) 9411 1485
www.geoscapes.com.au
ABN 84 620 205 781 ACN 620 205 781

Project Manager:
element Pty. Ltd.
Element Environment

Client:
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LEVEL 16, 720 BOURKE STREET
DCKLANDS VIC 3008
PF: (03) 8823 444

Scale:	Date:	Job Number:	North:	Revision			FOR SSD APPLICATION	
				Rev	Date	Description	Drawn	Checked
Project:	26.11.2020	200411	SSD - Central Syney Industrial Estate 9 Devon Street, Rosehill, NSW 2142	H	09.09.20	UPDATED FOR SSD	SB	BG
				I	11.09.20	UPDATED FOR SSD	SB	BG
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Approved Application No: SSD-10459
Granted on: 31 January 2021
Signed: JF Sheet No: 38 of 44


PROPOSED SITE LAYOUT
 SCALE 1:500

5m 0 10 20 30 40 50m
 SCALE 1:500 AT A0 SHEET SIZE

FOR APPROVAL

ISSUED FOR INFORMATION	DATE	ISSUE	ISSUED FOR APPROVAL	DATE	ISSUE
ISSUED FOR INFORMATION - FENCING ADDED	28.10.20	F	ISSUED FOR APPROVAL	20.11.20	K
ISSUED FOR INFORMATION	01.10.20	D	ISSUED FOR APPROVAL	15.11.20 (2)	J
ISSUED FOR INFORMATION	04.09.20	C	ISSUED FOR APPROVAL	13.10.20	I
ISSUED FOR INFORMATION	21.08.20	B	ISSUED FOR APPROVAL	12.10.20	H
ISSUED FOR INFORMATION	11.08.20	A	ISSUED FOR TENDER	30.10.20	G

AMENDMENTS	DATE	ISSUE	AMENDMENTS	DATE	ISSUE

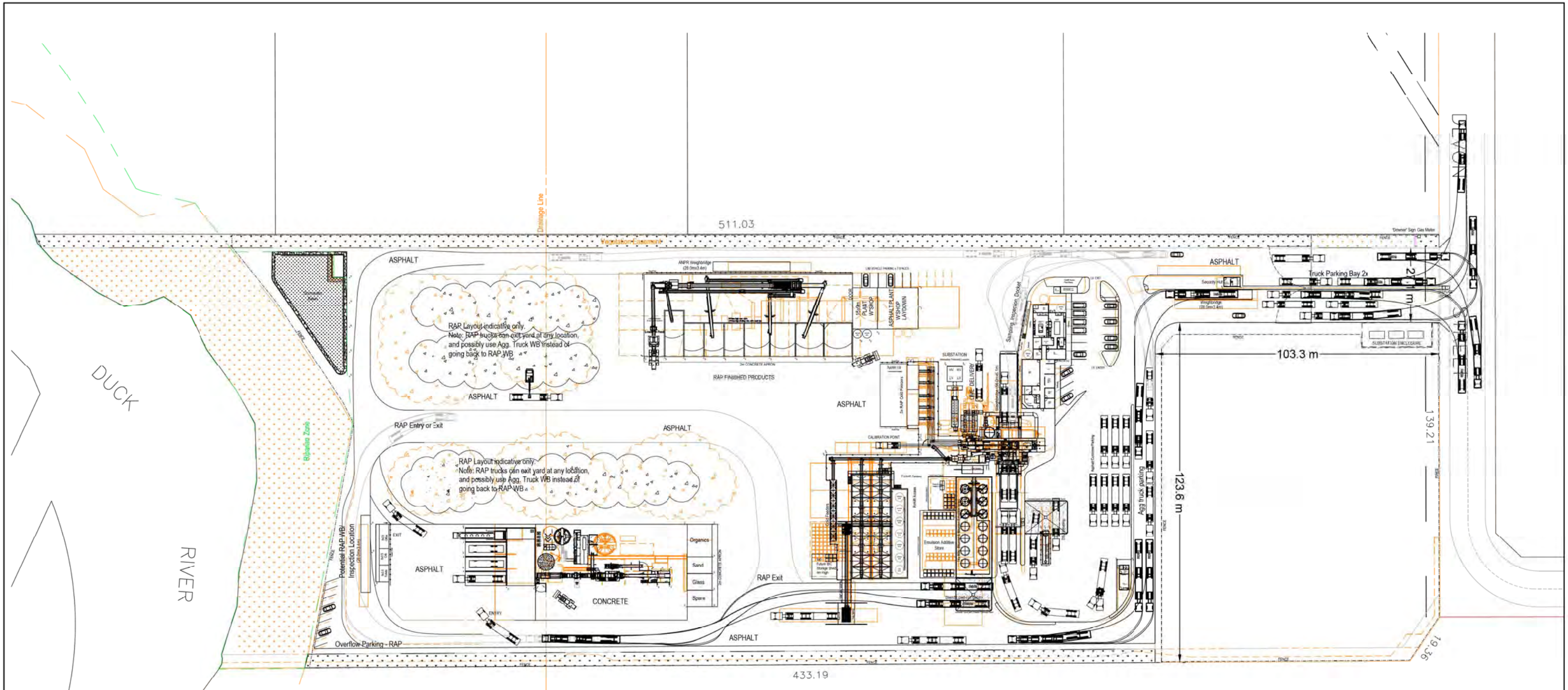
CLIENT
DOWNER GROUP
 TRINITY BUSINESS CAMPUS, 39 DELHI ROAD
 NORTH RYDE NSW 2113
 PH: (02) 9468 9700


PROJECT
SUSTAINABLE ROAD RESOURCE CENTRE
 9 DEVON STREET, CLYDE NSW


Costin Roe Consulting Pty Ltd.
 Consulting Engineers
 Level 1, 8 Macquarie Street
 Walsh Bay, Sydney NSW 2000
 Tel: (02) 9229 1899 Fax: (02) 9241 0778
 email: enquiries@costinroe.com.au


PRECISION | COMMUNICATION | ACCOUNTABILITY

DRAWING TITLE
PROPOSED SITE LAYOUT
 DRAWING NO.
C013919.02-AR100




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Approved Application No: SSD-10459
Granted on: 31 January 2021
Signed: JF Sheet No: 39 of 44



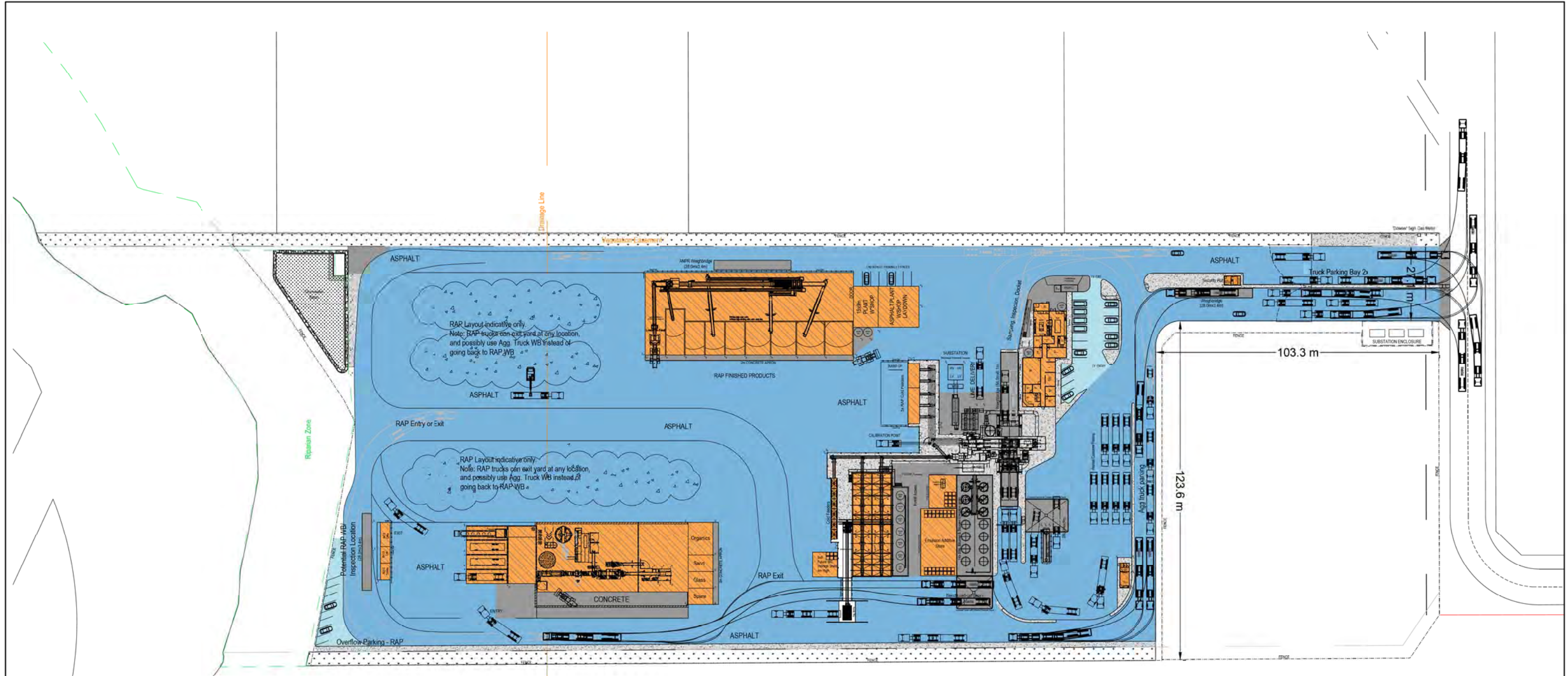
PROPOSED SITE LAYOUT (WITH RTS CHANGES)
 SCALE 1:500

LEGEND:
 — DENOTES PROPOSED SITE LAYOUT REVISED FOR RTS
 - - - DENOTES SITE LAYOUT PREVIOUSLY SUBMITTED

5m 0 10 20 30 40 50m
 SCALE 1:500 AT A0 SHEET SIZE

FOR APPROVAL

ISSUED FOR INFORMATION	20.11.20	A		CLIENT	DOWNER GROUP TRINITY BUSINESS CAMPUS, 39 DELHI ROAD NORTH RYDE NSW 2113 PH: (02) 9468 9700	PROJECT	SUSTAINABLE ROAD RESOURCE CENTRE 9 DEVON STREET, CLYDE NSW	DESIGNED	DATE	CHECKED	DATE	CAD FILE	COSTIN ROE CONSULTING PTY LTD. Consulting Engineers Level 1, 8 Woodhill Street Wahli Bay, Sydney NSW 2000 Tel: (02) 9229-1899 Fax: (02) 9241-0778 email: mail@costinroe.com.au ©	Costin Roe Consulting	PRECISION COMMUNICATION ACCOUNTABILITY	DRAWING TITLE	PROPOSED SITE LAYOUT (WITH RTS CHANGES)	DRAWING NO.	C013919.02-AR101	SHEET	A
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PROPOSED PAVEMENT LAYOUT
SCALE 1:500


Planning, Industry & Environment
 Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD-10459
Granted on: 31 January 2021
Signed: JF Sheet No: 40 of 44

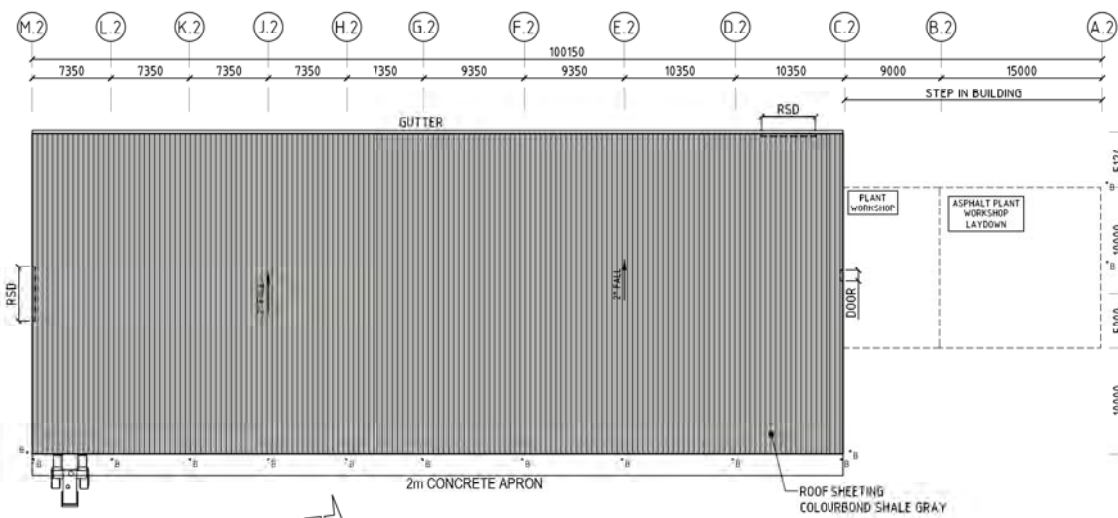
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- HEAVY DUTY ASPHALT PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- ROOFED AREAS
- HEAVY DUTY CONCRETE PAVEMENT
- LIGHT DUTY CONCRETE PAVEMENT

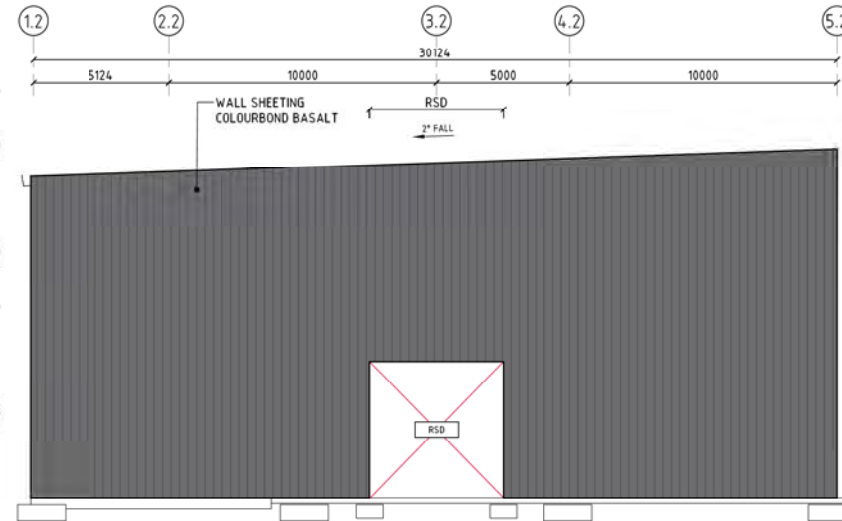


FOR APPROVAL

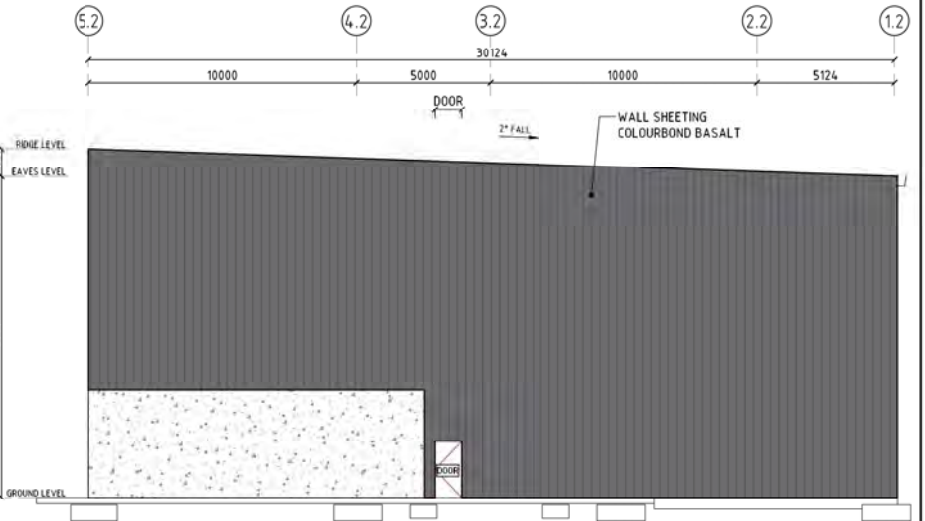
ISSUED FOR APPROVAL 23.12.20 B ISSUED FOR APPROVAL 25.11.20 A AMENDMENTS DATE ISSUE AMENDMENTS DATE ISSUE AMENDMENTS	CLIENT DOWNER GROUP TRINITY BUSINESS CAMPUS, 39 DELHI ROAD NORTH RYDE NSW 2113 PH: (02) 9468 9700	PROJECT SUSTAINABLE ROAD RESOURCE CENTRE 9 DEVON STREET, CLYDE NSW	Costin Roe Consulting Pty Ltd. CostinRoe Consulting Level 1, 6 Woodhill Street Wauchope, Sydney NSW 2220 Tel: (02) 9451-7888 Fax: (02) 9441-0752 email: mail@costinroe.com.au	Costin Roe Consulting PRECISION COMMUNICATION ACCOUNTABILITY DRAWING TITLE PROPOSED PAVEMENT LAYOUT DRAWING NO. C013919.02-AR200 SHEET B
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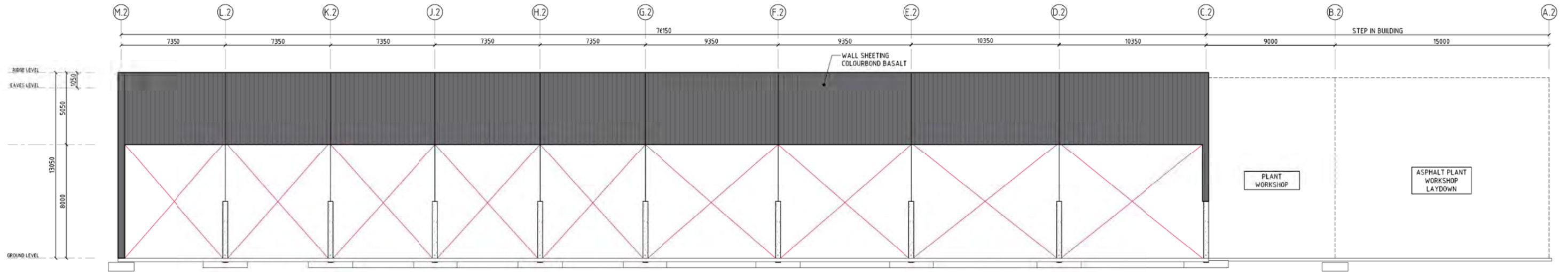
RAP FINISHED PRODUCTS ROOF PLAN
SCALE 1:250



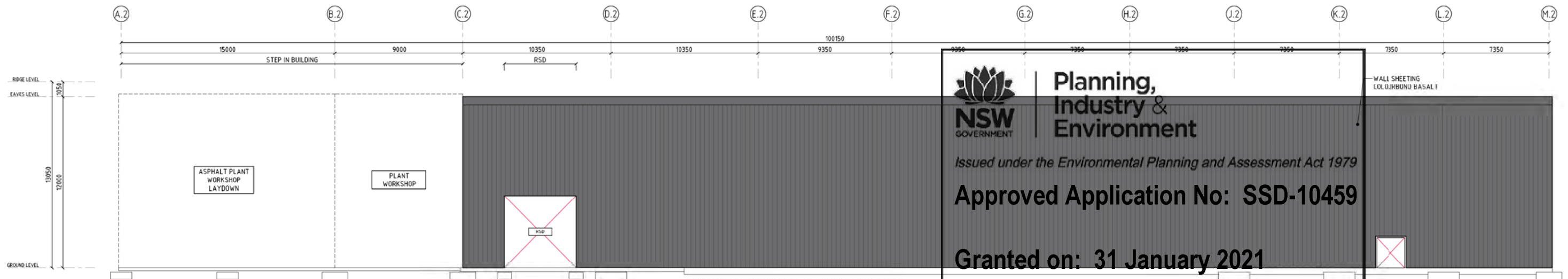
RAP FINISHED PRODUCTS - SOUTHERN ELEVATION
SCALE 1:100



RAP FINISHED PRODUCTS - NORTHERN ELEVATION
SCALE 1:100



RAP FINISHED PRODUCTS - EASTERN ELEVATION
SCALE 1:100



RAP FINISHED PRODUCTS - WESTERN ELEVATION
SCALE 1:100



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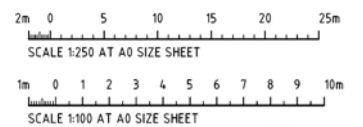
Approved Application No: SSD-10459

Granted on: 31 January 2021

Signed: JF

Sheet No: 41 of 44

FOR INFORMATION



ISSUED FOR APPROVAL	DATE	ISSUE	AMENDMENTS
ISSUED FOR APPROVAL	09.12.20	C	
ISSUED FOR APPROVAL	09.12.20	B	
ISSUED FOR APPROVAL	08.12.20	A	

AMENDMENTS	DATE	ISSUE	AMENDMENTS	DATE	ISSUE

CLIENT DOWNER GROUP TRINITI BUSINESS CAMPUS, 39 DELHI ROAD NORTH RYDE NSW 2113 PH: (02) 9468 9700	PROJECT SUSTAINABLE ROAD RESOURCE CENTRE 9 DEVON STREET, CLYDE NSW
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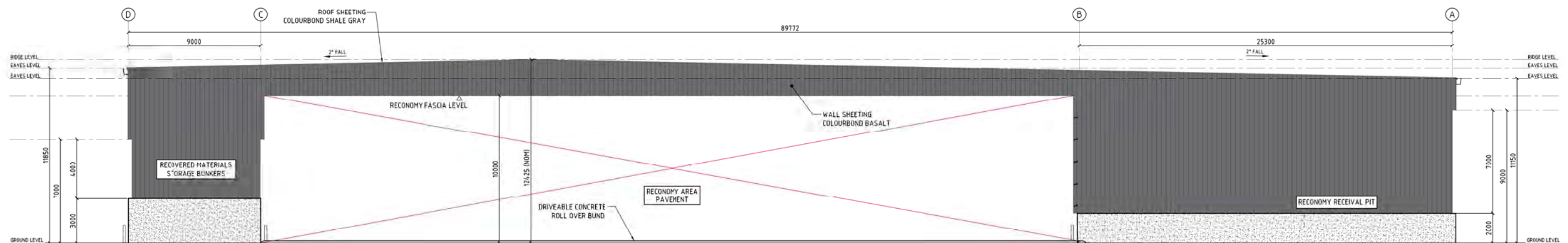
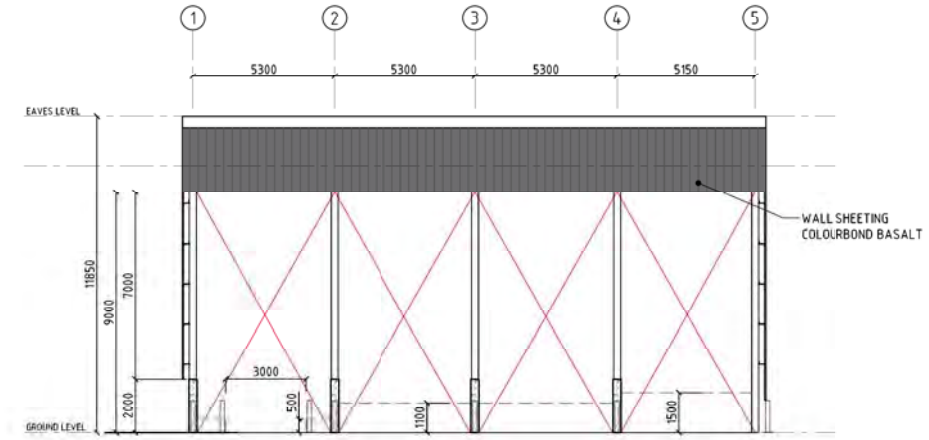
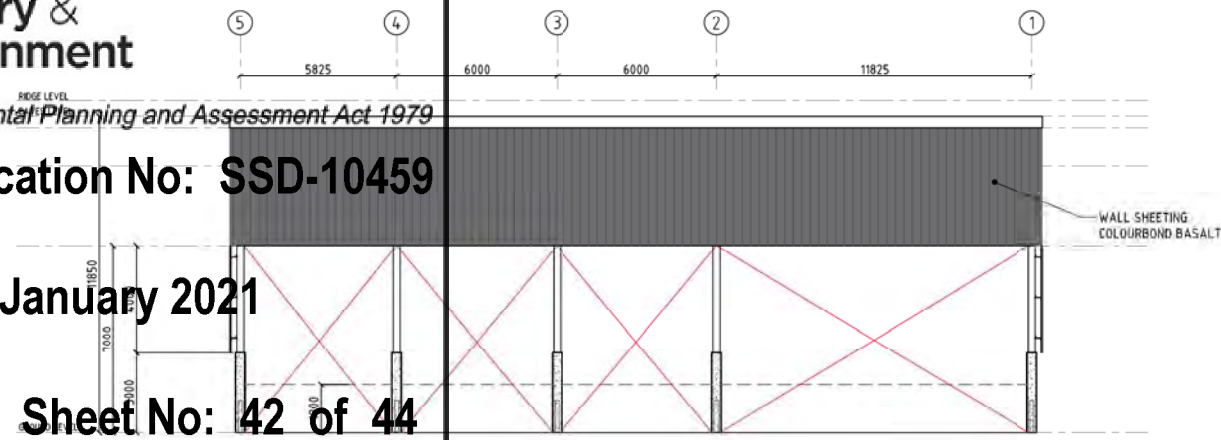
DESIGNED: [] DRAWN: [] DATE: [] BY: []	CHECKED: [] DATE: [] BY: []	SCALE: [] AS SHOWN	NO. REF: [] ED: []
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Costin Roe Consulting Pty Ltd.
Consulting Engineers
Level 1, 8 Macquarie Street
Yahli Bay, Sydney NSW 2050
Tel: (02) 9551-1989 Fax: (02) 9551-0752
www.costinroeconsulting.com.au

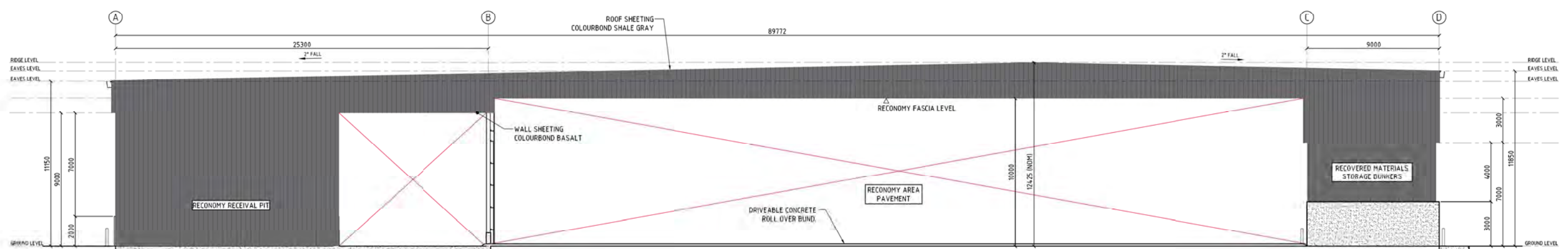
Costin Roe Consulting

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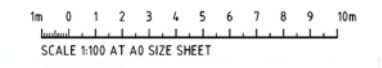
DRAWING TITLE RAP FINISHED PRODUCTS ROOF PLAN & ELEVATIONS	DRAWING NO. C013919.02-AR310
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RECONOMY RECEIVE PITS AND RECOVERED MATERIALS STORAGE BUNKERS - WESTERN ELEVATION
SCALE 1:100

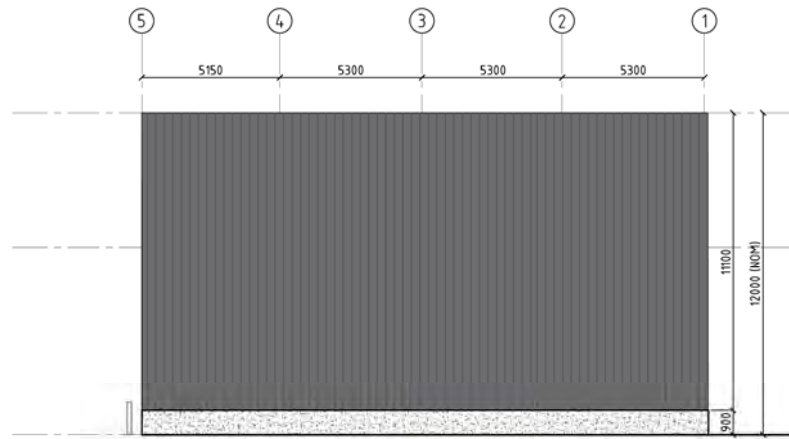


RECONOMY RECEIVE PITS AND RECOVERED MATERIALS STORAGE BUNKERS - EASTERN ELEVATION
SCALE 1:100

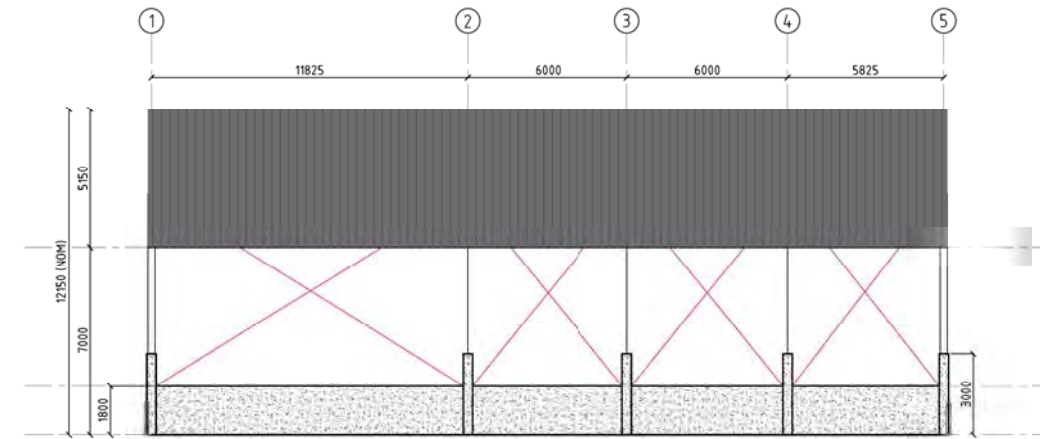


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ISSUED FOR APPROVAL		22.12.20	D			CLIENT		PROJECT		Costin Roe Consulting Pty Ltd.		Costin Roe Consulting Consulting Engineers Level 1, 6 Macquarie Street North Sydney, Sydney NSW 2060 Tel: (02) 9550-1999 Fax: (02) 9550-0732 email: info@costinroe.com.au ©	PRECISION COMMUNICATION ACCOUNTABILITY	DRAWING TITLE RECONOMY RECEIVE PITS & BUNKER ELEVATIONS - SHEET 1 DRAWING NO. C013919.02-AR301
ISSUED FOR APPROVAL		21.12.20	C			DOWNER GROUP		SUSTAINABLE ROAD		Consulting Engineers				
ISSUED FOR APPROVAL		09.12.20	B			TRINITY BUSINESS CAMPUS, 39 DELHI ROAD		RESOURCE CENTRE		Costin Roe Consulting				
ISSUED FOR APPROVAL		08.12.20	A			NORTH RYDE NSW 2113		9 DEVON STREET, CLYDE NSW						
AMENDMENTS		DATE	ISSUE	AMENDMENTS		DATE	ISSUE							



RECONOMY REVEAL PITS - NORTHERN ELEVATION
SCALE 1:100



RECOVERED MATERIALS STORAGE BUNKER -
SOUTHERN ELEVATION
SCALE 1:100



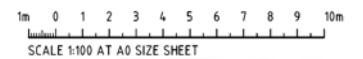
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD-10459

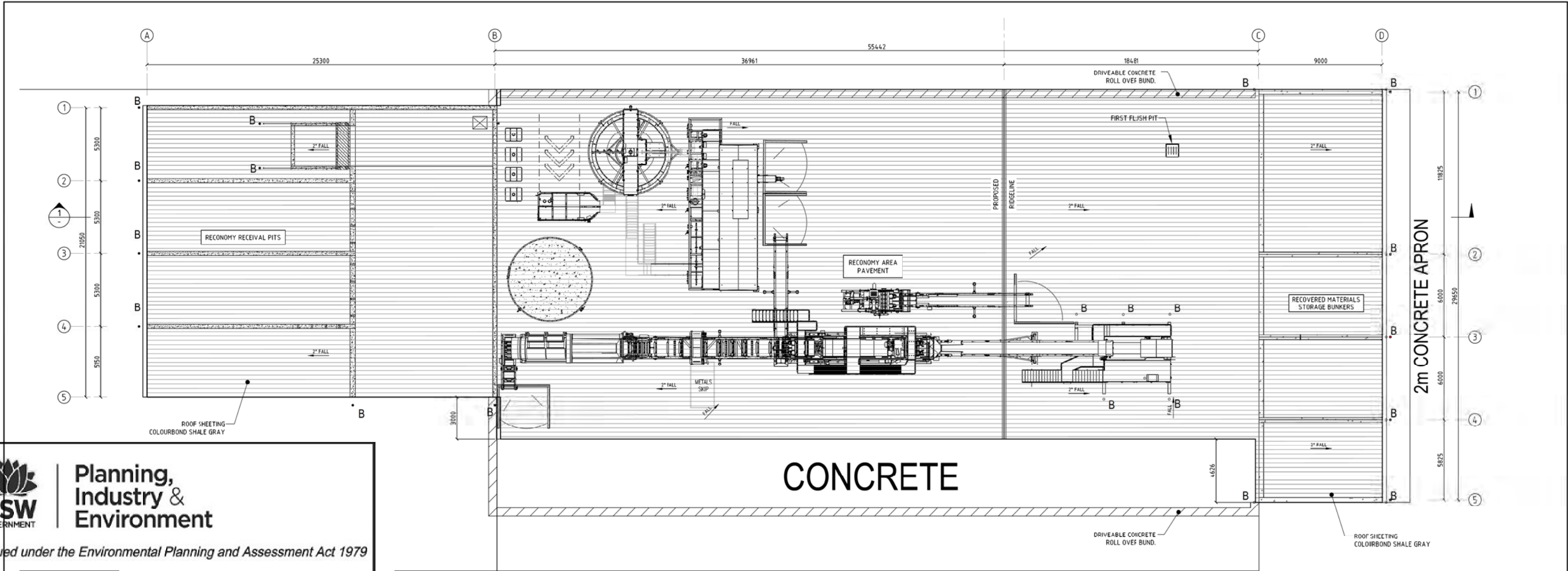
Granted on: 31 January 2021

Signed: JF Sheet No: 43 of 44

FOR INFORMATION

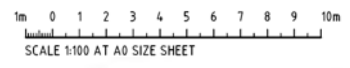
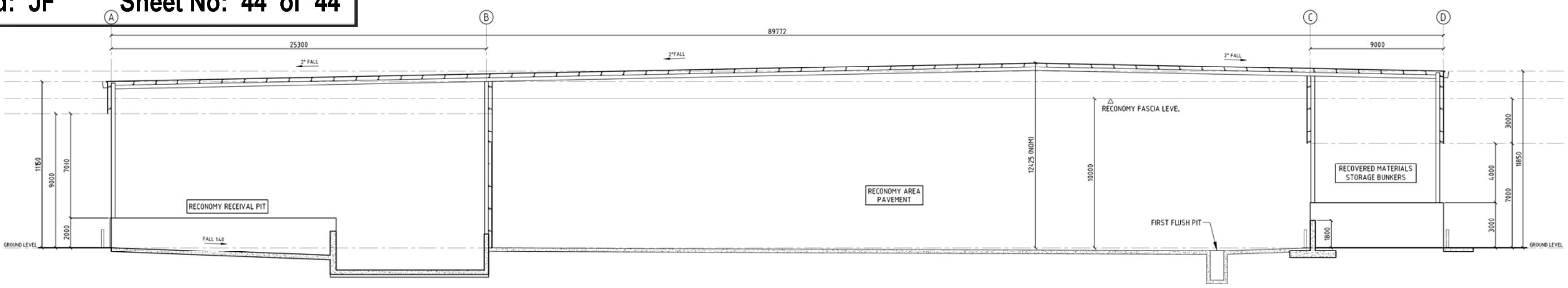


ISSUED FOR APPROVAL		22.12.20	A	AMENDMENTS		DATE	SCALE	AMENDMENTS	DATE	SCALE	CLIENT DOWNER GROUP TRINITY BUSINESS CAMPUS, 39 DELHI ROAD NORTH RYDE NSW 2113 PH: (02) 9468 9700	PROJECT SUSTAINABLE ROAD RESOURCE CENTRE 9 DEVON STREET, CLYDE NSW	DESIGNED XC DRAWN MJ DATE AUG	CHECKED AD	TITLE AS SHOWN	SCALE AS SHOWN	NO. REF. C013919.02-AR302	Costin Roe Consulting Pty Ltd. Consulting Engineers Level 1, 6 Macquarie Street Yahli Bay, Sydney NSW 2000 Tel: (02) 955-1989 Fax: (02) 955-0722 www.costinroe.com.au	PRECISION COMMUNICATION ACCOUNTABILITY	Costin Roe Consulting	DRAWING TITLE RECONOMY REVEAL PITS & RECONOMY MATERIAL STORAGE BUNKER ELEVATIONS - SHEET 2	PROJECT NO. C013919.02-AR302	SHEET NO. A
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RECONOMY AREA PLAN
SCALE 1:100

SECTION 1:100



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NSW GOVERNMENT | **Planning, Industry & Environment**
 Issued under the Environmental Planning and Assessment Act 1979
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Granted on: 31 January 2021
Signed: JF **Sheet No: 44 of 44**

ISSUED FOR APPROVAL	DATE	FIGURE	AMENDMENTS
ISSUED FOR APPROVAL	22.12.20	F	
ISSUED FOR APPROVAL	21.12.20	E	
ISSUED FOR APPROVAL	16.12.20	D	
ISSUED FOR APPROVAL	09.12.20	C	
ISSUED FOR APPROVAL	08.12.20	B	
ISSUED FOR APPROVAL	04.12.20	A	

CLIENT	PROJECT	DESIGNED	DRAWN	CHECKED	DATE	SCALE	CAD FILE
DOWNER GROUP TRINITY BUSINESS CAMPUS, 39 DELHI ROAD NORTH RYDE NSW 2113 PH: (02) 9468 9700	SUSTAINABLE ROAD RESOURCE CENTRE 9 DEVON STREET, CLYDE NSW						

Costin Roe Consulting Pty Ltd.
 Consulting Engineers
 Level 1, 8 Macquarie Street
 Walsh Bay, Sydney NSW 2000
 Tel: (02) 9231-1838 Fax: (02) 9241-2731
 email: mail@costinroecorp.com.au

DESIGNED	DRAWN	CHECKED	DATE	SCALE	CAD FILE

Costin Roe Consulting
 PRECISION | COMMUNICATION | ACCOUNTABILITY

DRAWING TITLE
RECONOMY AREA PLAN & SECTION
 DRAWING NO: C013919.02-AR300

DATE	FIGURE	AMENDMENTS